



NZP-SCBI Admin Row Abatement

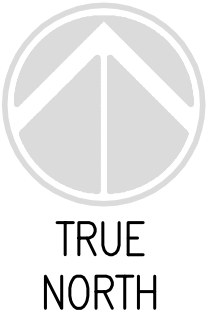
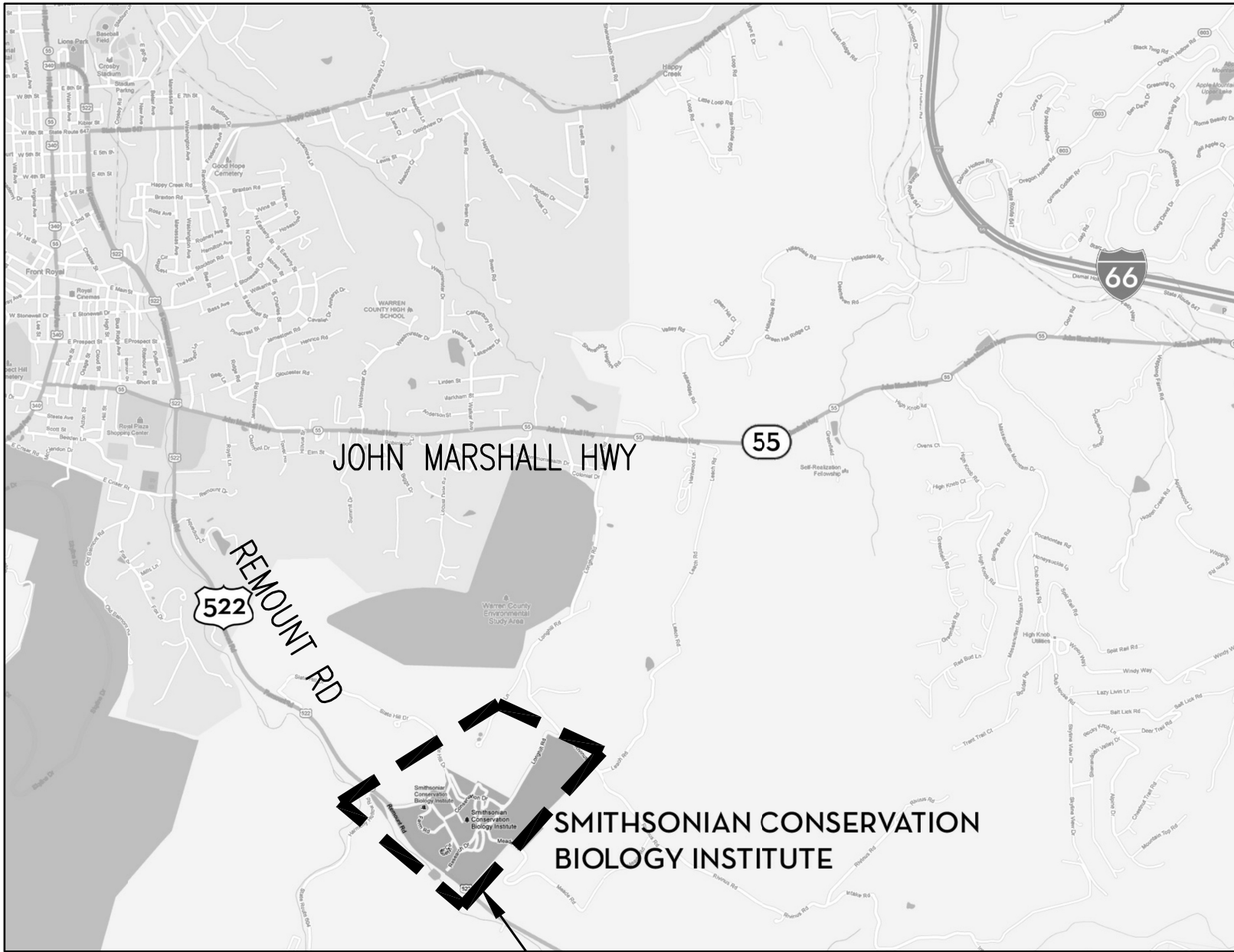
Smithsonsian Conservation Biology Institute

Administrative Drive
Front Royal, VA 22630

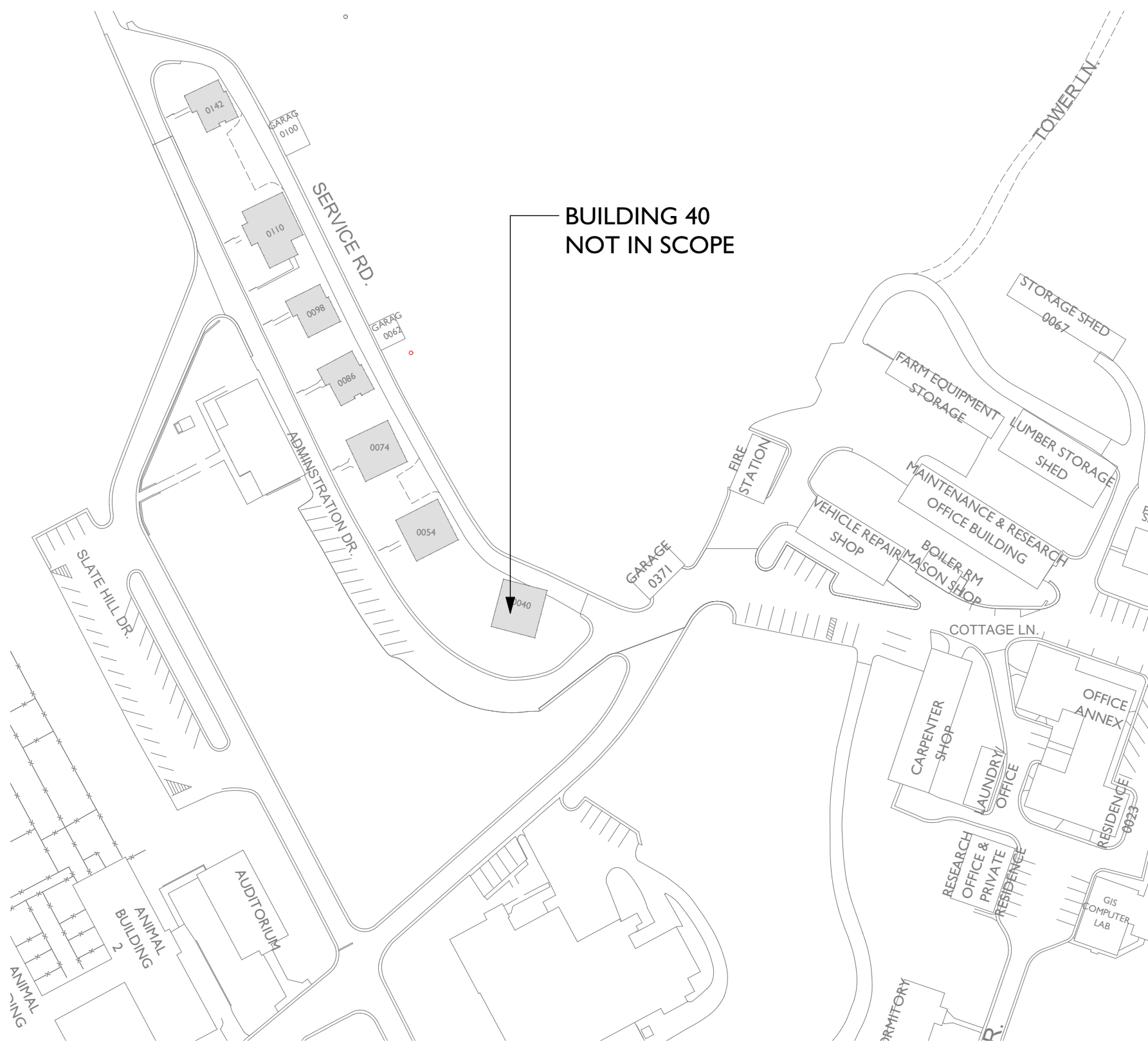
OFEO Project Number: I570I04

SHEET INDEX	
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VICINITY MAP (N.T.S.)



LOCATION OF PROJECT



GENERAL NOTES	
1	All units will be vacated prior to issuance of Notice To Proceed.
2	Before submitting this bid, the contractor shall visit the job site and examine and be fully acquainted with the existing conditions relating to the services, systems, and site. The contractor shall furnish and install all materials as required and shall perform demolition and modification work, as required for a complete and operable system without additional cost to the government.
3	Work shall be done in compliance with all laws, ordinances, codes, etc. Of any governing body having jurisdiction. All applicable items shall bear the underwriters laboratories (UL) label and shall be factory mutual approved. All equipment shall be new unless specifically noted otherwise on the drawings.
4	Work shall be done in a neat workmanlike manner, and free from defects, and completely operable. The contractor shall provide all equipment as scheduled on the drawings. All material shall be new, and all work and materials shall be guaranteed by the contractor for a period of one year from the date of acceptance by the owner. Manufacturer names given for equipment are used as basis for selection. Not with intent to limit competition. Equivalent equipment of other Manufacturers will be considered for acceptance and installation.
5	Work shall be carefully coordinated with all trades involved, and the contractor shall provide proper connections, fittings, valves, piping, etc. For all equipment furnished by the owner or the trades involved in this contract.
6	Drawings are diagrammatic and do not necessarily indicate the actual location or routing of equipment, piping, or ductwork. Drawings shall be followed as closely as conditions allow to complete the intent of the contract. The right is reserved by the engineer to make minor changes in locations and arrangements when required by job development without additional compensation to the Contractor.
7	Contractor shall submit shop drawings for all manufactured items required on this project. The COTR approval of shop or setting drawings shall only be construed to apply to general layout and conformance to the design concept of the project and for compliance with the general requirements of the contract documents. The responsibility of any deviations from the requirements of the contract documents must remain the contractor's unless he has, in writing, specifically called to the Government's attention such deviations at the time of submission and has received written approval of such deviations.
8	Contractor shall provide coordinated composite coordination drawings for indicating method of installation of all millwork. Indicate all required service/installation clearances. Provide for review & approval (7) sets Of coordination drawings, prepared at minimum scale of 1/4" = 1'-0".
9	Locate and identify all concealed building systems prior to execution of this work including cutting, excavating, or removing any part of the building construction of system components. Carefully perform all work to prevent damage to the concealed systems or structure. Any such damage, building system outages or injuries resulting from performance of the work of this contract is the sole responsibility of the contractor.

GENERAL NOTES	
10	Maintain proper clearances around the equipment requiring access required by code or for maintenance and safety.
11	All work shall be performed by qualified mechanics, experienced in their trade, utilizing proper tools and techniques, to achieve first quality work. Consistent with industry's highest standards. Work deemed by architect to be substandard shall be remade by contractor without additional compensation.
12	All work activities impacting lead-containing materials is to be performed IAW Specification 028300. All lead-containing waste streams generated by the project are to be categorized and disposed of in accordance with State of Virginia, and SI Specification 028300.
13	Units must be unoccupied before work begins. Use containment barriers to restrict entry into work area to project personnel. If tenants or other personnel, not designated by the COTR, attempt to enter the unit inform the project COTR and stop work immediately.
14	Residents are not to be allowed back into units until after final clearance has been reported by the SI Industrial Hygienist following requirements established by Specification 028300 (lead).
15	Where the abatement of asbestos-containing soil debris, or other asbestos-containing materials (ACM) will occur, residents are not allowed back into units until acceptable final clearance has been reported by the SI Industrial Hygienist following requirements established by Specification 028200.
16	The following information is to be prominently posted at all entry points to the unit "WARNING, LEAD WORK AREA, POISON, UNAUTHORIZED ENTRY PROHIBITED, NO SMOKING, EATING OR DRINKING PERMITTED IN THIS AREA"
17	Prior to beginning component replacement, paint stabilization, and other specified lead work, the interior lead work area is to be prepared IAW Section 3.8 of Project Specification 028300, "Preparation of Interior Lead Work Areas where airborne lead concentrations are known or expected to exceed the OSHA Action level". Exterior lead work areas are to be prepared IAW Section 3.9 of Project Specification 028300.
18	The following methods for removing asbestos contaminated soils identified in Project Specification 028200 Section 3.21 are to be followed: Saturate dry soil with amended water or a removal encapsulant for a depth of 75 mm. Remove the top 25mm of soil. Start removal at the point of work farthest from the entrance to the soil floor area and proceed toward the entrance. Do not permit traffic into the fresh soil surface. After the entire first layer of soil is removed, completely change coveralls and at the entrance to the soil removal area don clean boot covers. Use amended water to keep the surface of the soil continuously wet throughout removal and decontamination. Remove the second 25 mm of soil in the same manner as the first. Remove the third 25 mm of soil in the same manner as the previous 50 mm.
19	Prior to beginning work, all floor surfaces are to be HEPA vacuumed unless directed otherwise by the COTR.
20	For residential units where basement window replacement will impact dryer exhaust, ensure that dryer exhaust ductwork is refitted into new windows.

Printed: 3/2/2022	
SMITHSONIAN FACILITIES APPROVAL BLOCK	
DM:	_____
DESIGN CHIEF:	_____
R.E.:	_____
OPPM:	_____
OFM&R:	_____
OSHEM:	_____
OPS:	_____
THIS PROJECT IS APPROVED AS BEING IN CONFORMANCE WITH THE APPLICABLE PROVISIONS OF SMITHSONIAN INSTITUTION DIRECTIVE 410.	
MICHAEL J. CARRANCKO, P.E., DIRECTOR FOR ENGINEERING AND DESIGN, OPDC	
DATE	SUBMISSION
01/28/22	100% FINAL

NZP-SCBI Admin Row
Abatement
PROJECT NUMBER 1570104

1500 Remont Rd
Front Royal , VA 22630

Cover Sheet

G0.01



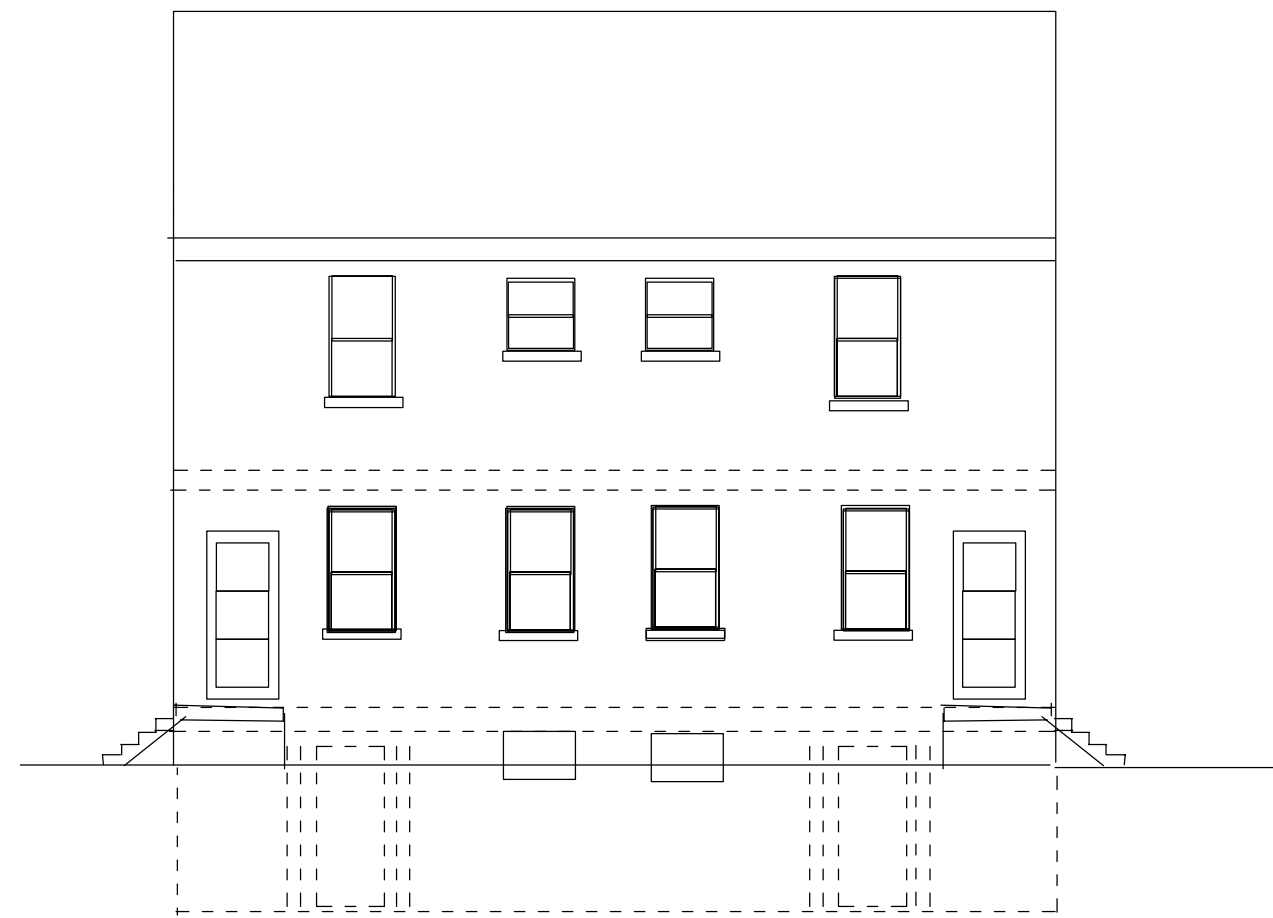
1 EAST ELEVATION
A102 SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
A102 SCALE: 1/8" = 1'-0"

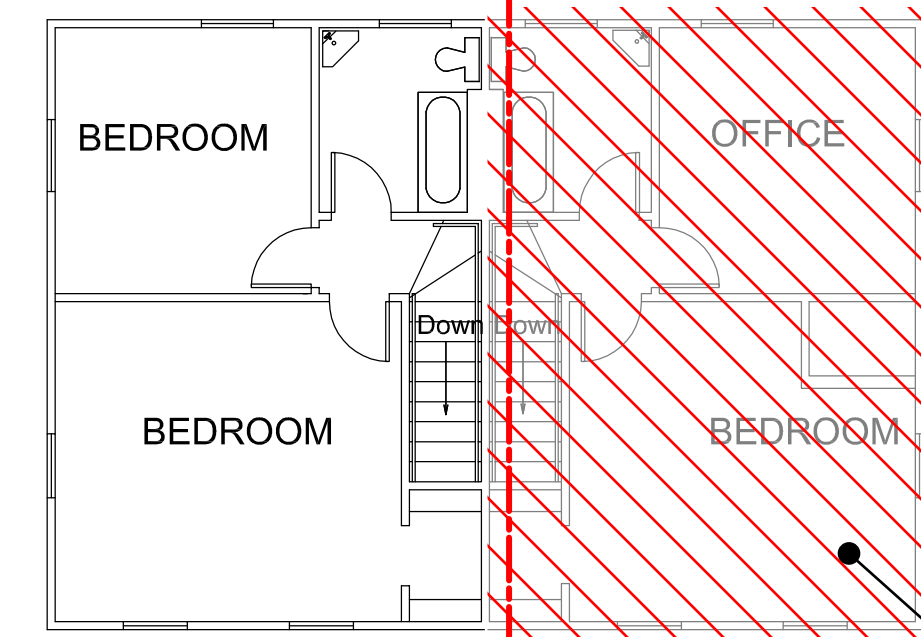


3 SOUTH ELEVATION
A102 SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION
A102 SCALE: 1/8" = 1'-0"

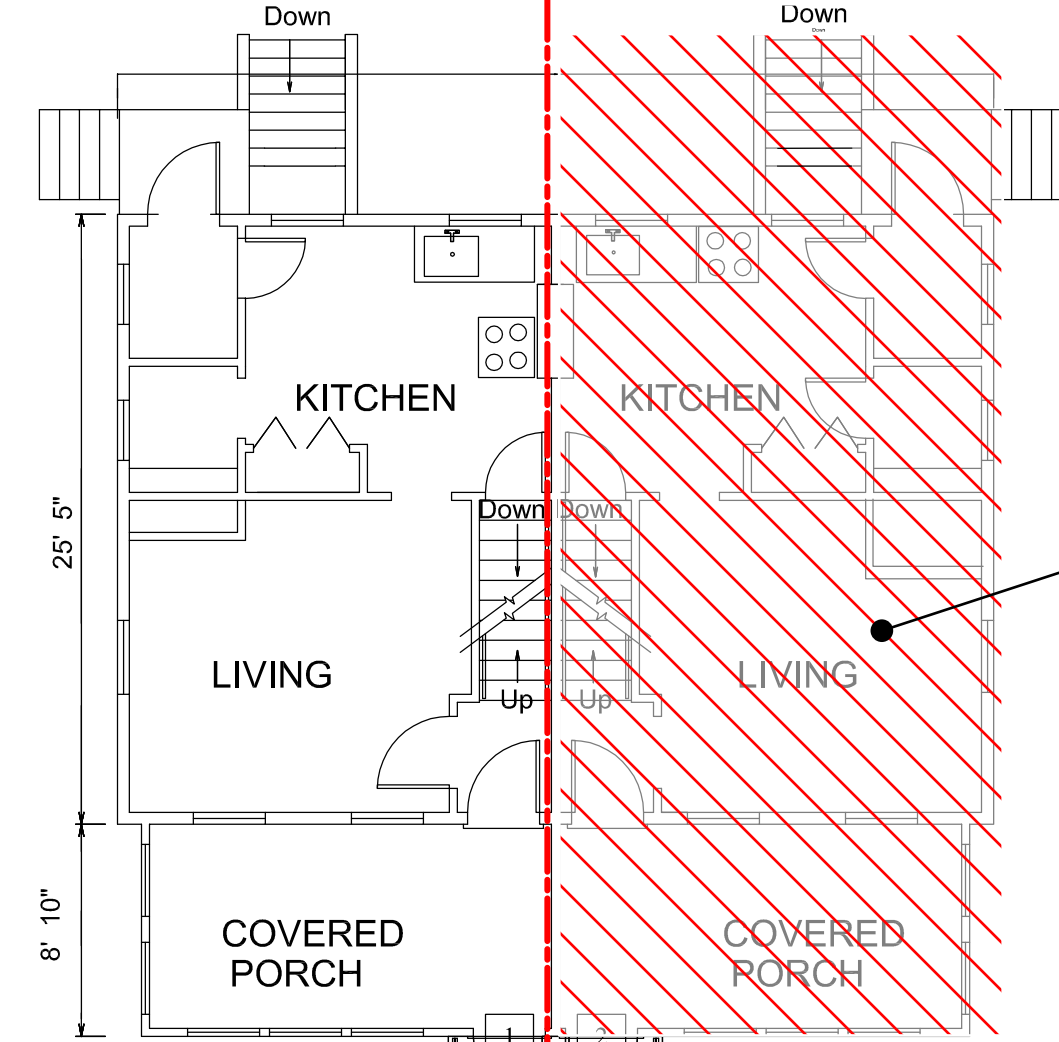
BUILDING 56 ← BUILDING 54



5 SECOND FLOOR PLAN
A101 SCALE: 1/8" = 1'-0"

BUILDING 54
POLICE STATION
NOT IN SCOPE OF
WORK

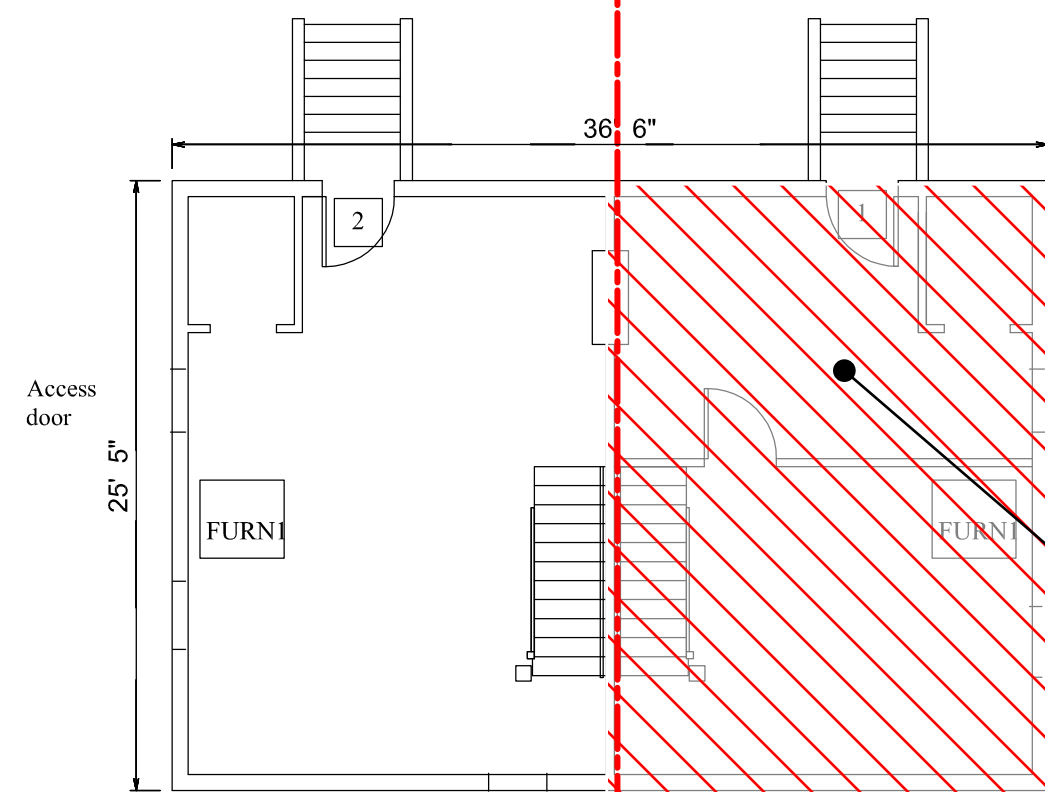
BUILDING 56 ← BUILDING 54



6 FIRST FLOOR PLAN
A101 SCALE: 1/8" = 1'-0"

BUILDING 54
POLICE STATION
NOT IN SCOPE OF
WORK

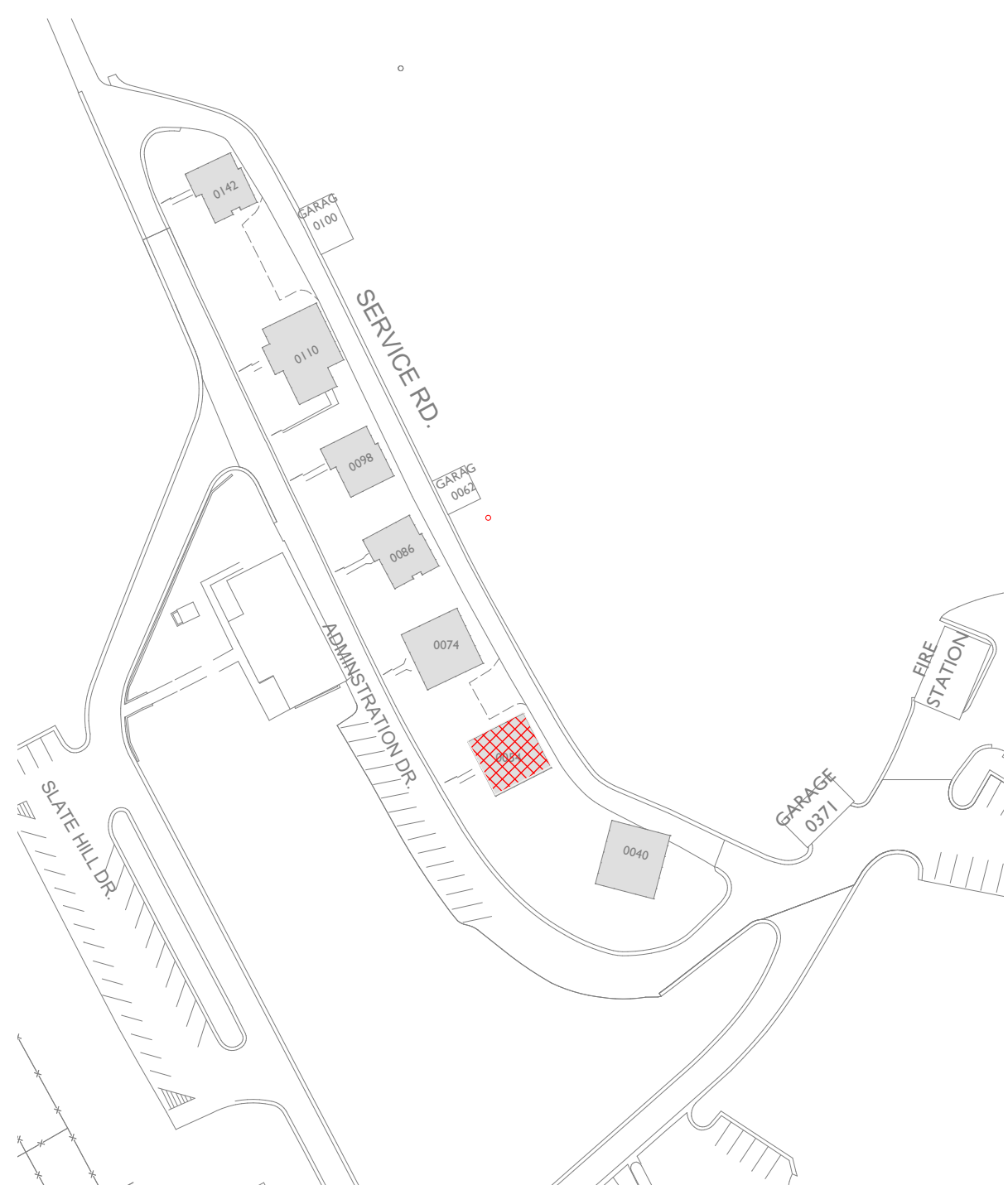
BUILDING 56 ← BUILDING 54



7 BASEMENT PLAN
A101 SCALE: 1/8" = 1'-0"

1 WINDOW MARKS
1 DOOR MARKS

	DEMOLITION NOTES BUILDING 56	NEW SCOPE OF WORK BUILDING 56
1	BASEBOARDS EXISTING BASEBOARDS MAY HAVE LBP. REMOVE AND DISCARD ALL BASEBOARDS.	BASEBOARDS REPLACE ALL BASEBOARDS – MATCH EXISTING
2	DOOR CASING, FRAMES & TRIM INTERIOR AND EXTERIOR DOOR CASINGS, FRAMES AND TRIM MAY HAVE LBP REMOVE AND DISCARD ALL DOOR CASINGS, FRAMES AND TRIM. SEE DRAWING A1.07.	DOOR CASING, FRAMES & TRIM REPLACE ALL DOOR CASINGS AND TRIM TO MATCH EXISTING. PATCH REPAIR ADJACENT SURFACES TO MATCH EXISTING CONDITONS.
3	DOORS EXISTING PAINTED DOORS MAY HAVE LBP. REMOVE PAINT FROM EXISTING DOORS. IF EXTERIOR DOOR PAINT MUST BE STRIPPED OFFSITE. INSTALL TEMPORARY BARRIERS TO PERVENT MOISTURE INTRUSION INTO THE UNITS. SET ASIDE UNPAINTED STAINED INTERIOR WOODEN DOORS FOR REHANGING. EXCLUDE THE BASEMENT WINDOW AND BASEMENT EXTERIOR DOOR. THESE COMPONENTS WERE RECENTLY REPLACED BY OFMR.	DOORS REPLACE ALL DOORS AFTER PAINT REMOVAL AND REPAINT EXCEPT AII UNPAINTED STAINED INTERIOR WOODEN DOORS. REHANG STAINED UNPAINTED INTERIOR DOORS.
4	WINDOWS EXISTING WINDOW TRIMS, SILL AND APRON MAY HAVE LBP. REMOVE AND DISCARD EXCLUDE THE BASEMENT WINDOW AND BASEMENT EXTERIOR DOOR. THESE COMPONENTS WERE RECENTLY REPLACED BY OFMR.	WINDOWS REPLACE WINDOW TRIMS, SILL AND APRON. FOR PURPOSES OF QUANTITY TAKE- OFF, ALL WINDOW SIZES ARE 20"x30". FIELD VERIFICATION OF ACTUAL QUANTITIES WILL BE REQUIRED.
5	SHELVES EXISTING FOOD SHELVES MAY HAVE LBP. REMOVE AND DISCARD	SHELVES REPLACE WOOD FOOD SHELF
6	ABATEMENT THE CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF ASBESTOS CONTAINING MATERIALS (ACM) WHERE OBSERVED.	NOT USED
7	PORCH EXTERIOR WOOD PORCH MAY HAVE LBP.	PORCH EXTERIOR WOOD PORCH HAS DETECTABLE QUANTITIES OF LEAD WITHIN PAINT. REMOVE ALL VISIBLE PAINT FROM THE PORCH FLOOR AND REPAINT.
8	NOT USED	INTERIOR PAINTING STABILIZE ALL PEELING, CRACKING, ALLIGATORING, DAMAGED AND/OR DETERIORATED PAINT LOCATED IN THE RESIDENCE. REFERENCE IAW SI SPECIFICATION 028300. FOLLOWING PAINT STABILIZATION, MATCH, PRIME AND REPAINT. REPAINT ALL WALLS (EXCLUDING BASEMENT WALLS).
9	NOT USED	STAIRS PAINT ON THE BASEMENT STAIR TREAD CONTAINS DETECTABLE QUANTITIES OF LEAD. SIZE AND INSTALL STAIR TREAD COVERS OVER PAINTED BASEMENT STAIR TREADS.



Printed: 3/7/2022
SMITHSONIAN FACILITIES
APPROVAL BLOCK

DM: _____
DESIGN CHIEF: _____
R.E.: _____
OPPM: _____
OFM&R: _____
OSHEM: _____
OPS: _____
THIS PROJECT IS APPROVED AS BEING IN
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DIRECTIVE 410.
MICHAEL J. CARRANCKO, P.E., DIRECTOR FOR ENGINEERING AND DESIGN, OPDC
DATE SUBMISSION
01/28/22 100% FINAL

NZP-SCBI Admin Row
Abatement
PROJECT NUMBER 1570104

1500 Remont Rd
Front Royal , VA 22630

Building 054

A1.01



1 WEST ELEVATION
A103 SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
A103 SCALE: 1/8" = 1'-0"

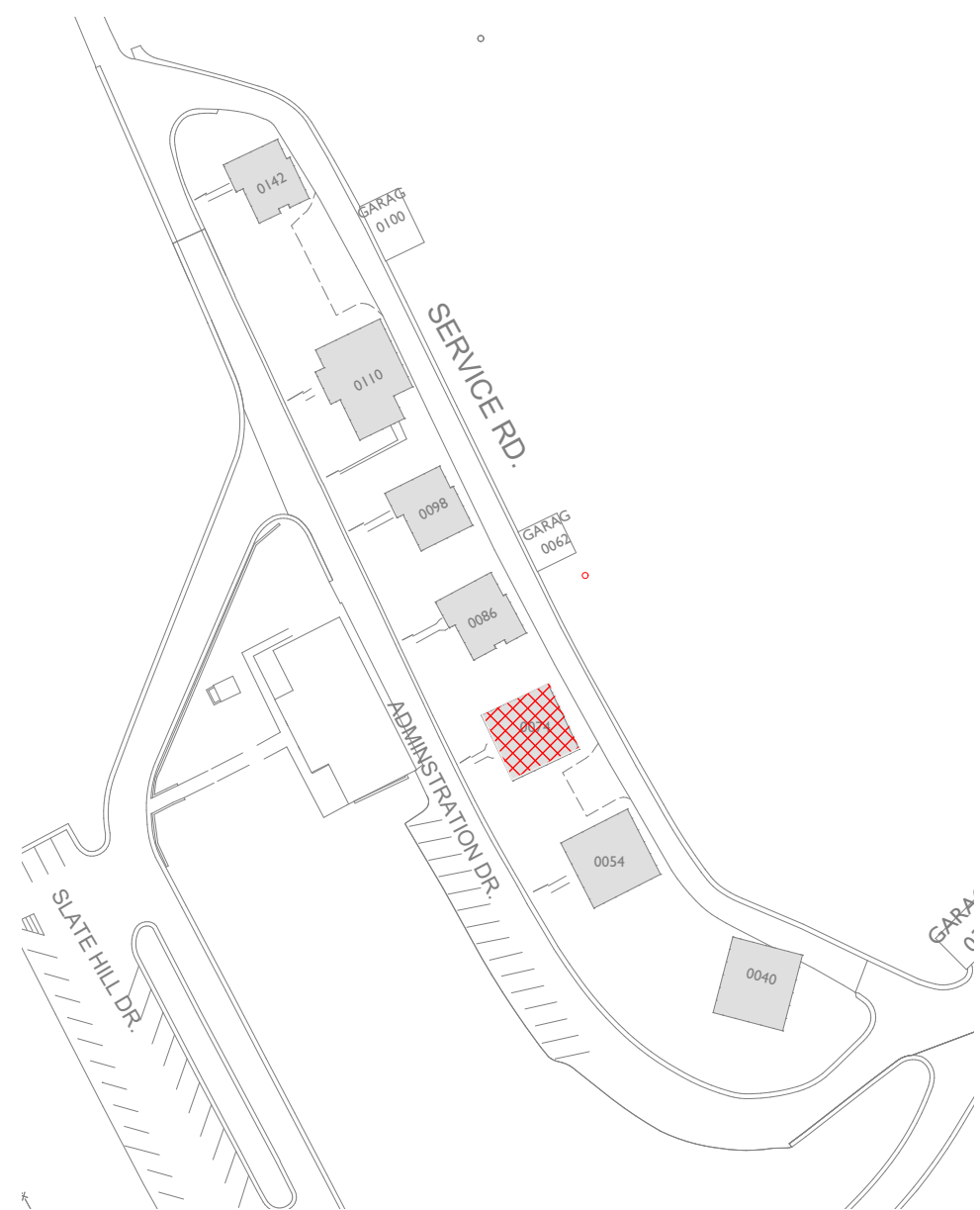


3 EAST ELEVATION
A103 SCALE: 1/8" = 1'-0"

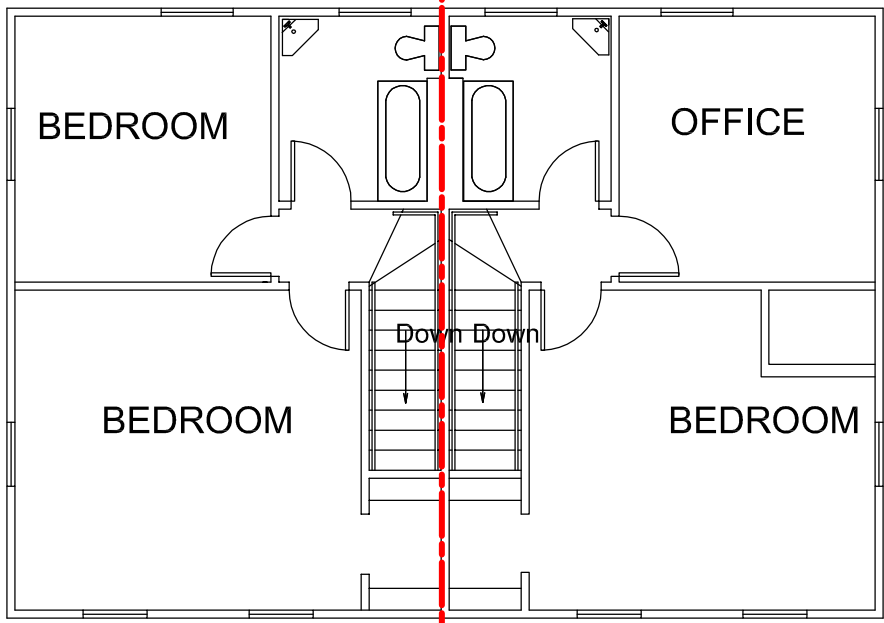


4 NORTH ELEVATION
A103 SCALE: 1/8" = 1'-0"

	DEMOLITION NOTES BUILDING 76 & 74	NEW SCOPE OF WORK BUILDING 76 & 74
1	BASEBOARDS EXISTING BASEBOARDS MAY HAVE LBP. REMOVE AND DISCARD ALL BASEBOARDS.	BASEBOARDS REPLACE ALL BASEBOARDS – MATCH EXISTING
2	DOOR CASING, FRAMES & TRIM INTERIOR AND EXTERIOR DOOR CASINGS, FRAMES AND TRIM MAY HAVE LBP REMOVE AND DISCARD ALL DOOR CASINGS, FRAMES AND TRIM. SEE DRAWING A1.07.	DOOR CASING, FRAMES & TRIM REPLACE ALL DOOR CASINGS AND TRIM MATCH EXISTING PATCH REPAIR ADJACENT SURFACES TO MATCH EXISTING CONDITONS.
3	DOORS EXISTING PAINTED DOORS MAY HAVE LBP. REMOVE PAINT FROM EXISTING DOORS. IF EXTERIOR DOOR PAINT MUST BE STRIPPED OFFSITE, INSTALL TEMPORARY BARRIERS TO PERVENT MOISTURE INTRUSION INTO THE UNITS. SET ASIDE UNPAINTED STAINED INTERIOR WOODEN DOORS FOR REHANGING.	DOORS REPLACE ALL DOORS AFTER PAINT REMOVAL AND REPAINT. EXCEPT UNPAINTED STAINED INTERIOR WOODEN DOORS. REHANG STAINED UNPAINTED INTERIOR DOORS.
4	WINDOWS EXISTING WINDOW TRIMS, SILL AND APRON MAY HAVE LBP. REMOVE AND DISCARD	WINDOWS REPLACE WINDOW TRIMS, SILL AND APRON. FOR PURPOSES OF QUANTITY TAKE- OFF, ALL WINDOW SIZES ARE 20"x30". FIELD VERIFICATION OF ACTUAL QUANTITIES WILL BE REQUIRED.
5	SHELVES EXISTING FOOD SHELVES MAY HAVE LBP. REMOVE AND DISCARD	SHELVES REPLACE WOOD FOOD SHELF AND CABINET
6	ABATEMENT THE CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF ASBESTOS CONTAINING MATERIALS (ACM) WHERE OBSERVED.	NOT USED
7	PORCH EXTERIOR WOOD PORCH MAY HAVE LBP.	PORCH EXTERIOR WOOD PORCH HAS DETECTABLE QUANTITIES OF LEAD WITHIN PAINT. REMOVE ALL VISIBLE PAINT FROM THE PORCH FLOOR AND REPAINT.
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9	NOT USED	STAIRS PAINT ON THE BASEMENT STAIR TREAD CONTAINS DETECTABLE QUANTITIES OF LEAD. SIZE AND INSTALL STAIR TREAD COVERS OVER PAINTED BASEMENT STAIR TREADS.

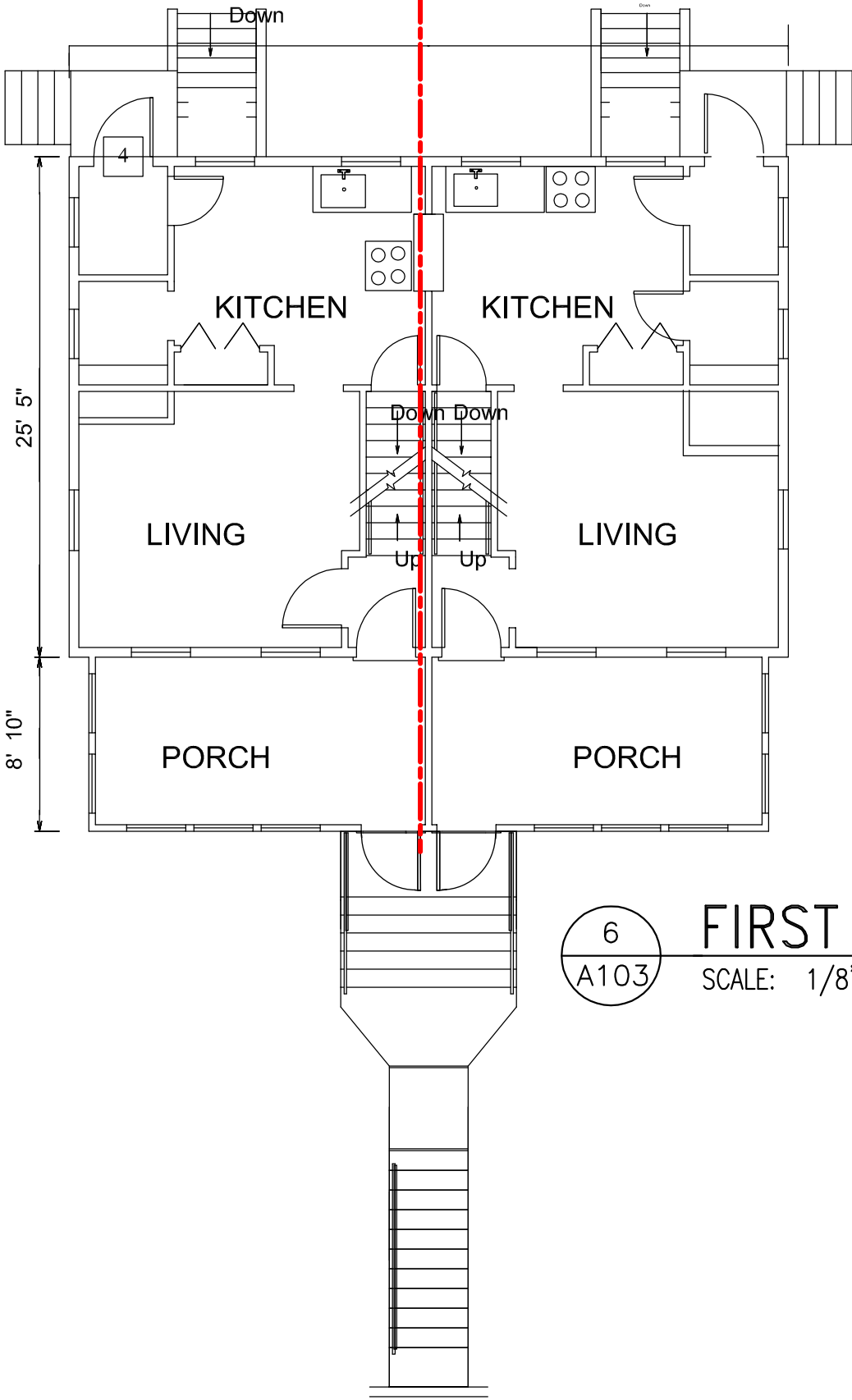


BUILDING 76 ↔ BUILDING 74



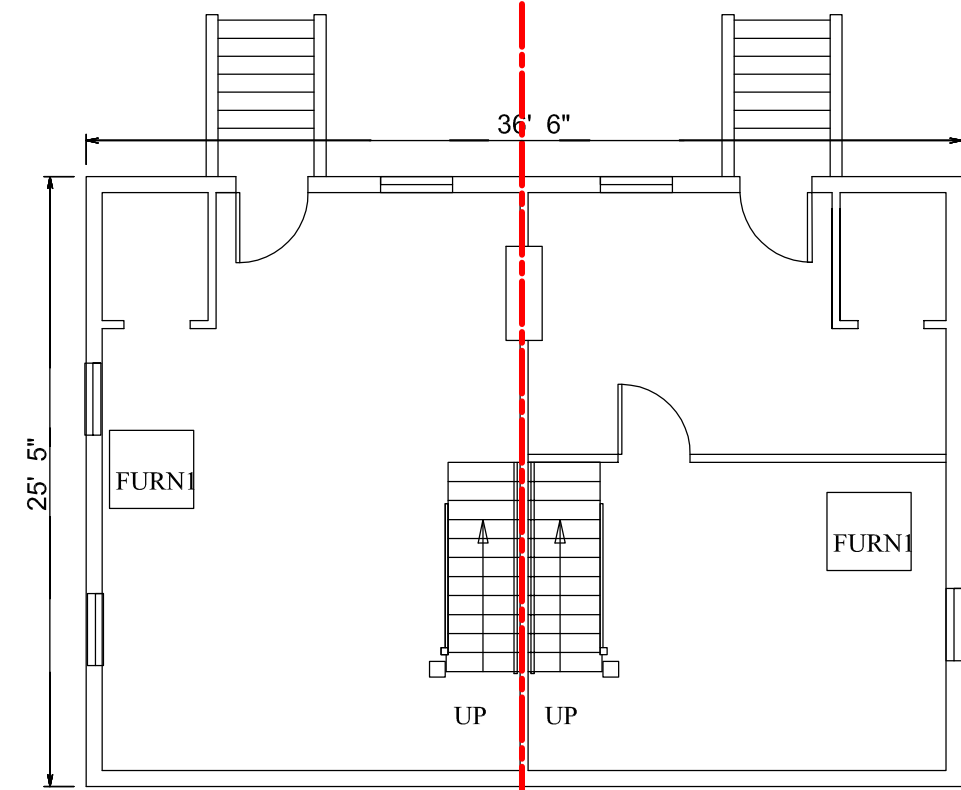
5 SECOND FLOOR PLAN
A103 SCALE: 1/8" = 1'-0"

BUILDING 76 ↔ BUILDING 74



6 FIRST FLOOR PLAN
A103 SCALE: 1/8" = 1'-0"

BUILDING 76 ↔ BUILDING 74



7 BASEMENT PLAN
A103 SCALE: 1/8" = 1'-0"

- 1 WINDOW MARKS
1 DOOR MARKS



Printed: 3/7/2022

SMITHSONIAN FACILITIES
APPROVAL BLOCK

DM: _____

DESIGN CHIEF: _____

R.E.: _____

OPPM: _____

OFM&R: _____

OSHEM: _____

OPS: _____

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DIRECTIVE 410.

MICHAEL J. CARRANCHO, P.E., DIRECTOR FOR ENGINEERING AND DESIGN, OPDC

DATE SUBMISSION

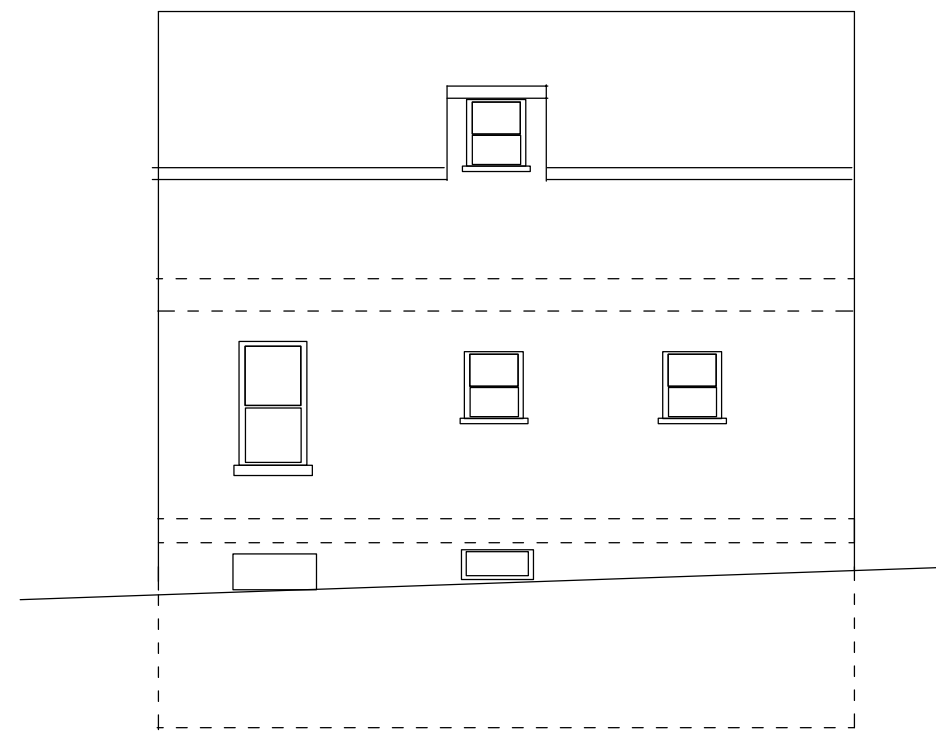
01/28/22 100% FINAL

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1500 Remont Rd
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Building 074

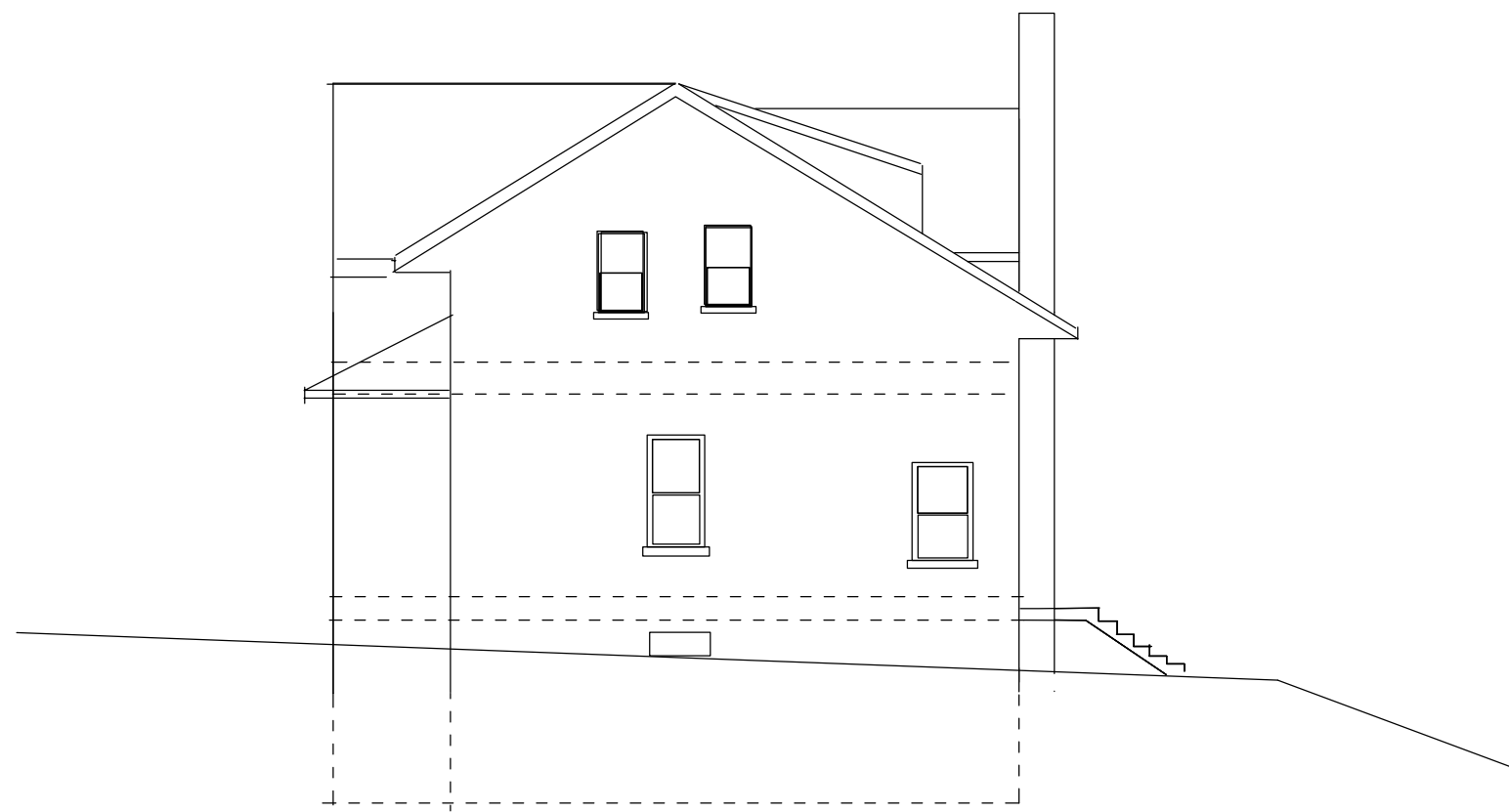
A1.02



1 EAST ELEVATION
A105 SCALE: 1/8" = 1'-0"



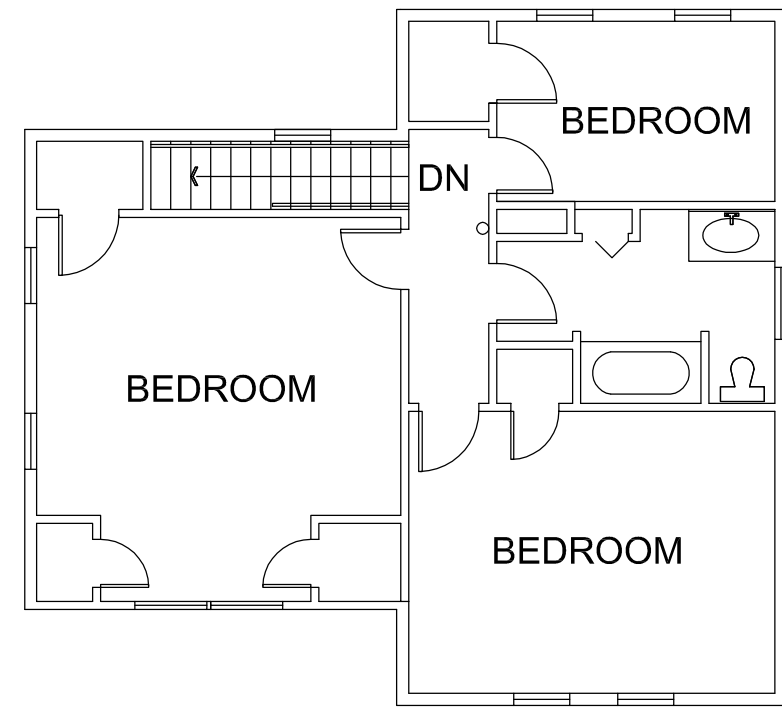
3 SOUTH ELEVATION
A105 SCALE: 1/8" = 1'-0"



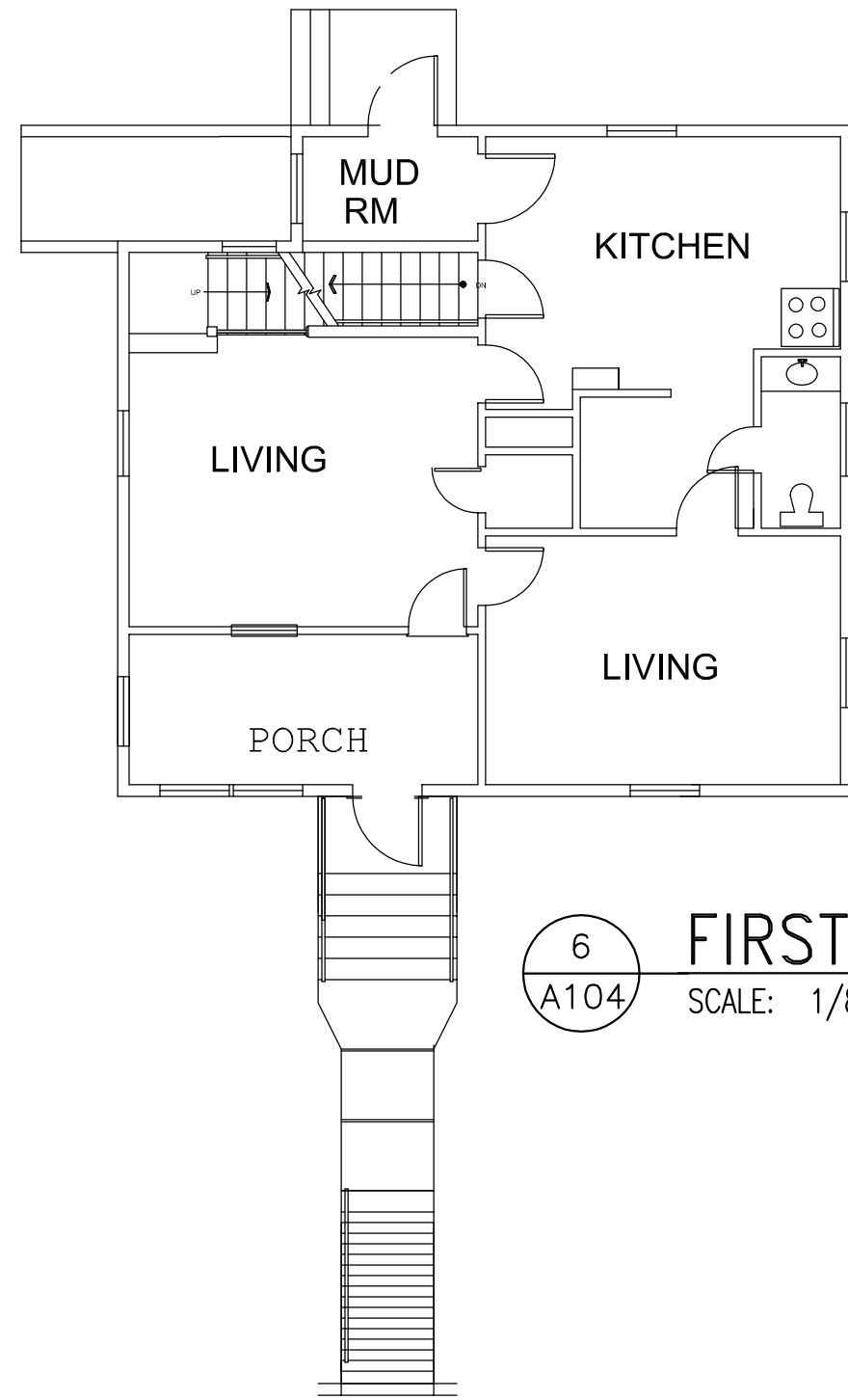
2 WEST ELEVATION
A105 SCALE: 1/8" = 1'-0"



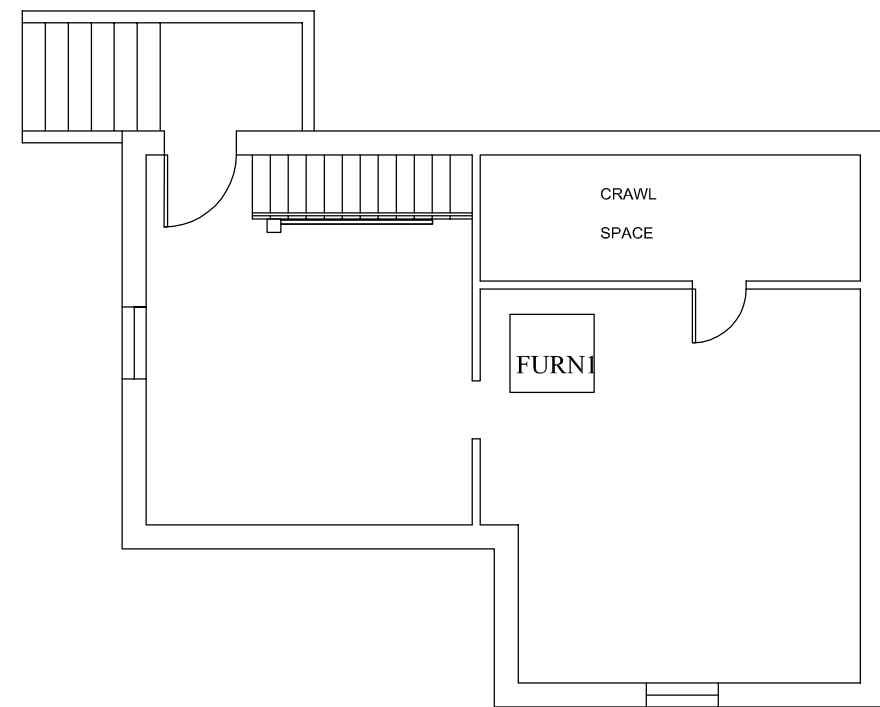
4 NORTH ELEVATION
A105 SCALE: 1/8" = 1'-0"



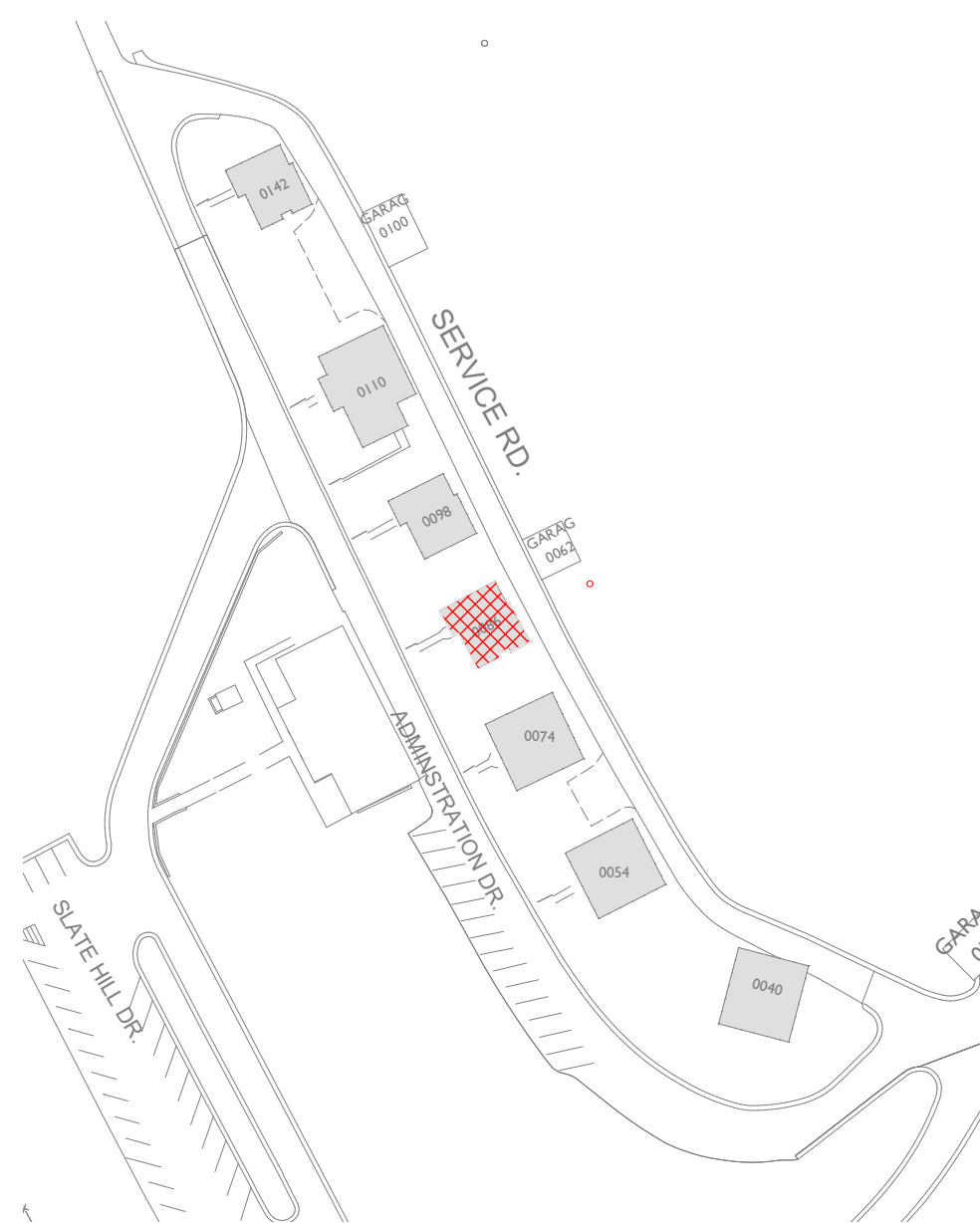
5 SECOND FLOOR PLAN
A104 SCALE: 1/8" = 1'-0"



6 FIRST FLOOR PLAN
A104 SCALE: 1/8" = 1'-0"



7 BASEMENT PLAN
A104 SCALE: 1/8" = 1'-0"



- 1 WINDOW MARKS
- 1 DOOR MARKS

	DEMOLITION NOTES BUILDING 86	NEW SCOPE OF WORK BUILDING 86
1	BASEBOARDS EXISTING BASEBOARDS MAY HAVE LBP. REMOVE AND DISCARD ALL BASEBOARDS.	BASEBOARDS REPLACE ALL BASEBOARDS – MATCH EXISTING
2	DOOR CASING, FRAMES & TRIM INTERIOR AND EXTERIOR DOOR CASINGS, FRAMES AND TRIM MAY HAVE LBP REMOVE AND DISCARD ALL DOOR CASINGS, FRAMES AND TRIM. SEE DRAWING A1.07.	DOOR CASING, FRAMES & TRIM REPLACE ALL DOOR CASINGS AND TRIM MATCH EXISTING PATCH REPAIR ADJACENT SURFACES TO MATCH EXISTING CONDITONS.
3	DOORS EXISTING PAINTED DOORS MAY HAVE LBP. REMOVE PAINT FROM EXISTING DOORS, IF EXTERIOR DOOR PAINT MUST BE STRIPPED OFFSITE, INSTALL TEMPORARY BARRIERS TO PERVENT MOISTURE INTRUSION INTO THE UNITS. SET ASIDE UNPAINTED STAINED INTERIOR WOODEN DOORS FOR REHANGING. EXCLUDE THE BASEMENT WINDOW AND BASEMENT EXTERIOR DOOR. THESE COMPONENTS WERE RECENTLY REPLACED BY OFMR.	DOORS REPLACE ALL DOORS AFTER PAINT REMOVAL AND REPAINT. EXCEPT UNPAINTED STAINED INTERIOR WOODEN DOORS. REHANG STAINED UNPAINTED INTERIOR DOORS.
4	WINDOWS EXISTING WINDOW TRIMS, SILL AND APRON MAY HAVE LBP. REMOVE AND DISCARD. EXCLUDE THE BASEMENT WINDOW AND BASEMENT EXTERIOR DOOR. THESE COMPONENTS WERE RECENTLY REPLACED BY OFMR.	WINDOWS REPLACE WINDOW TRIMS, SILL AND APRON, FOR PURPOSES OF QUANTITY TAKE- OFF, ALL WINDOW SIZES ARE 20"x30". FIELD VERIFICATION OF ACTUAL QUANTITIES WILL BE REQUIRED.
5	SHELVES NOT USED	SHELVES REPLACE WOOD FOOD SHELF AND CABINET
6	ABATEMENT EXISTING CRAWL SPACE CONTAINS ASBESTOS CONTAINING MATERIALS (ACM) AND MAY CONTAIN LBP. REMOVE ACM AND GROUND SURFACE PER REGULATION. REMOVE ALL EXTERIOR TRIM AT CRAWL SPACE ACCESS	NOT USED
7	PORCH EXTERIOR WOOD PORCH MAY HAVE LBP.	PORCH EXTERIOR WOOD PORCH HAS DETECTABLE QUANTITIES OF LEAD WITHIN PAINT. REMOVE ALL VISIBLE PAINT FROM THE PORCH FLOOR AND REPAINT.
8	NOT USED	INTERIOR PAINTING STABILIZE ALL PEELING, CRACKING, ALLIGATORING, DAMAGED AND/OR DETERIORATED PAINT LOCATED IN THE RESIDENCE. REFERENCE IAW SI SPECIFICATION 028300. FOLLOWING PAINT STABILIZATION, MATCH, PRIME AND REPAINT. REPAINT ALL WALLS (EXCLUDING BASEMENT WALLS).
9	NOT USED	STAIRS PAINT ON THE BASEMENT STAIR TREAD CONTAINS DETECTABLE QUANTITIES OF LEAD. SIZE AND INSTALL STAIR TREAD COVERS OVER PAINTED BASEMENT STAIR TREADS.



Printed: 3/2/2022

SMITHSONIAN FACILITIES
APPROVAL BLOCK

DM: _____

DESIGN CHIEF: _____

R.E.: _____

OPPM: _____

OFM&R: _____

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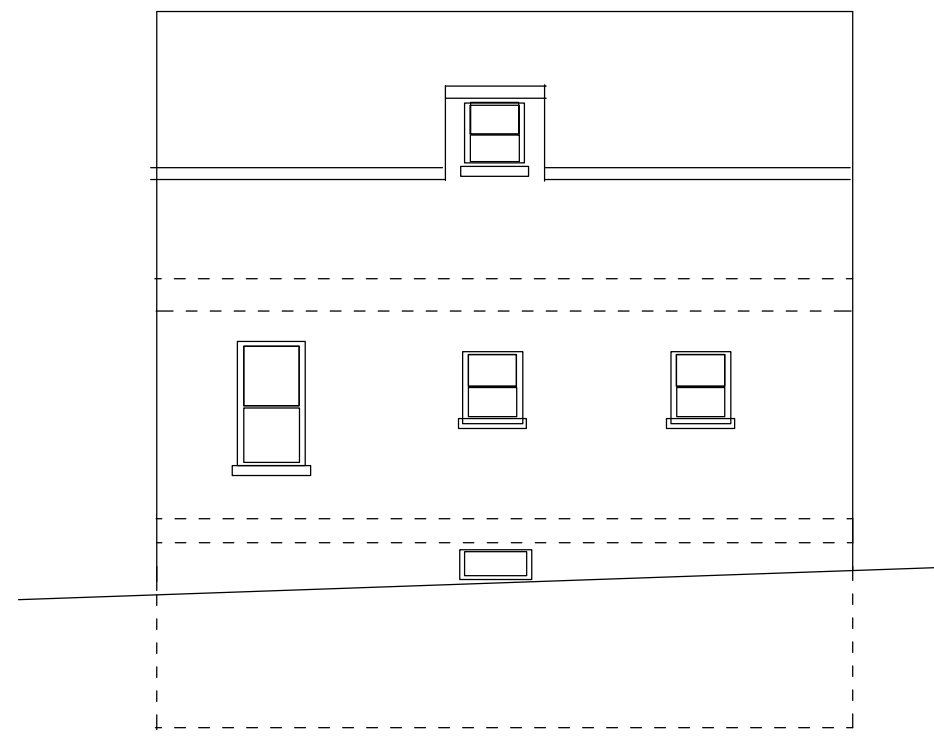
**NZP-SCBI Admin Row
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PROJECT NUMBER 1570104

1500 Remont Rd
Front Royal , VA 22630

Building 086

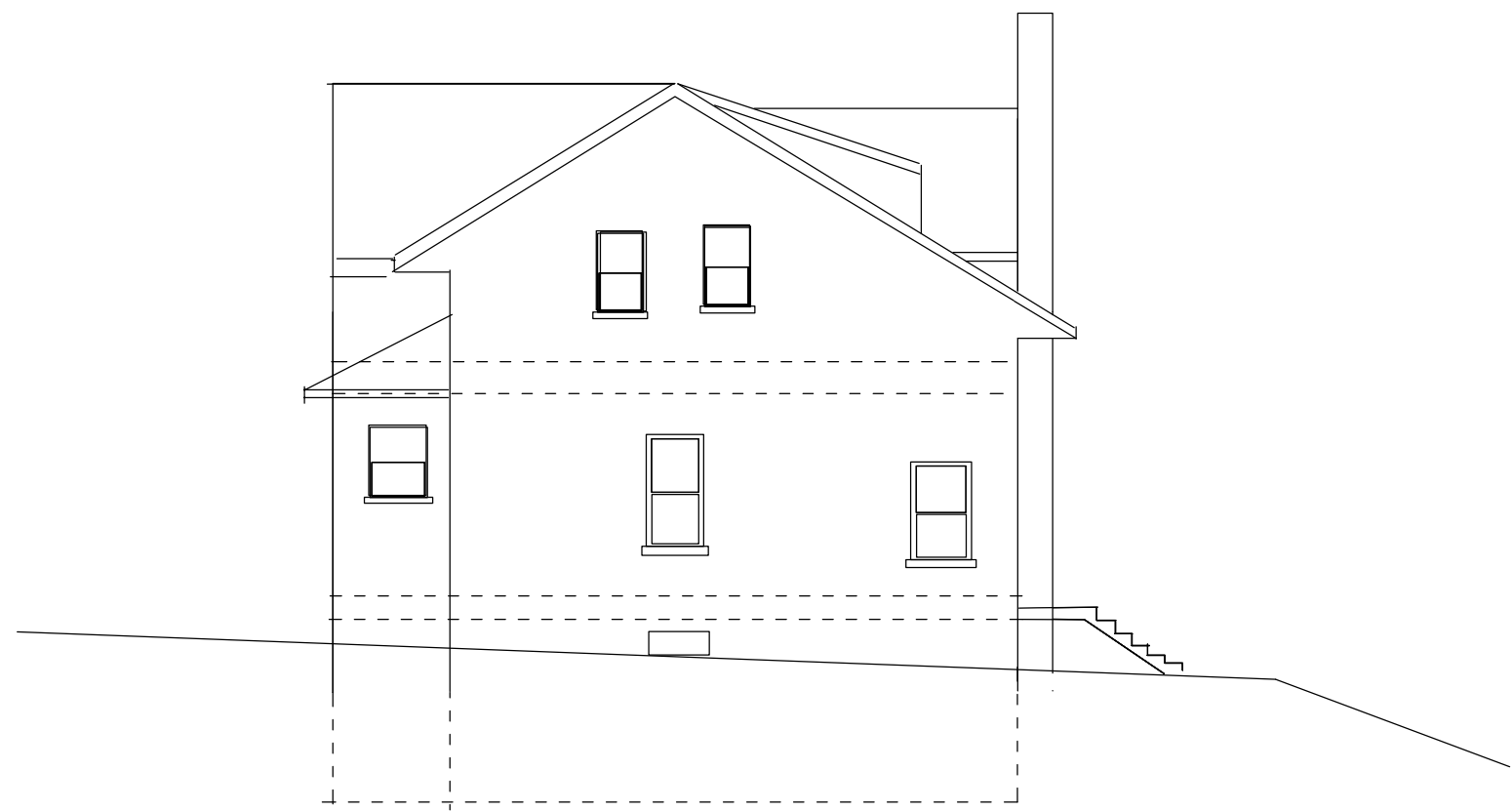
A1.03



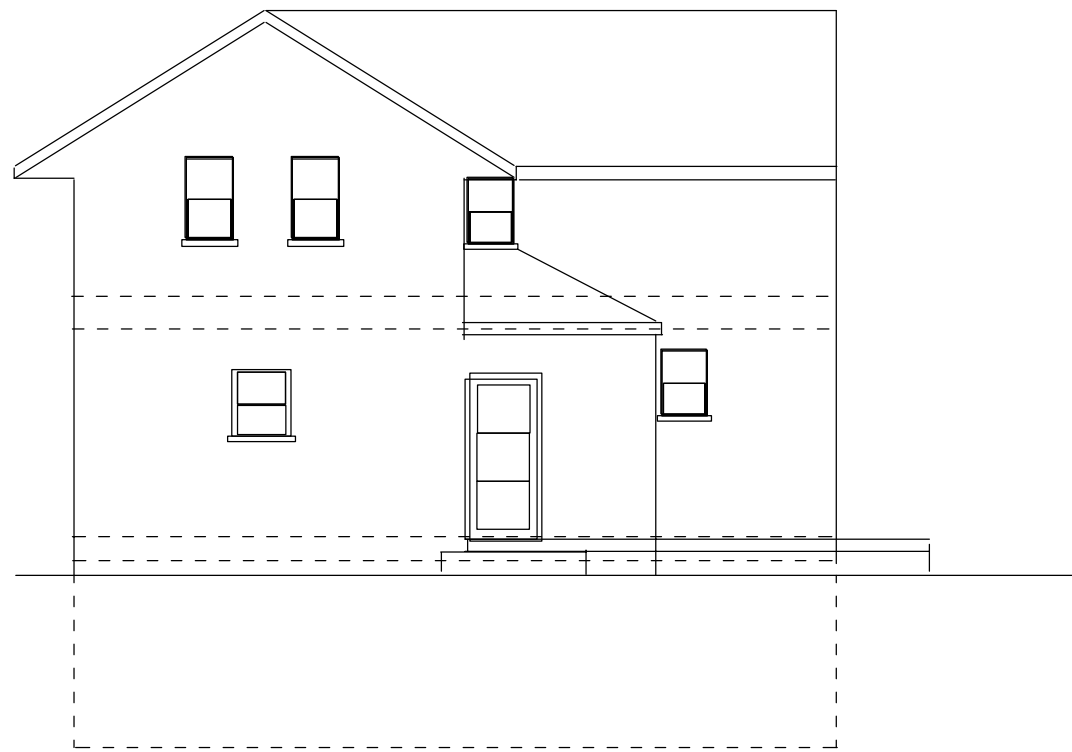
1 EAST ELEVATION
A106 SCALE: 1/8" = 1'-0"



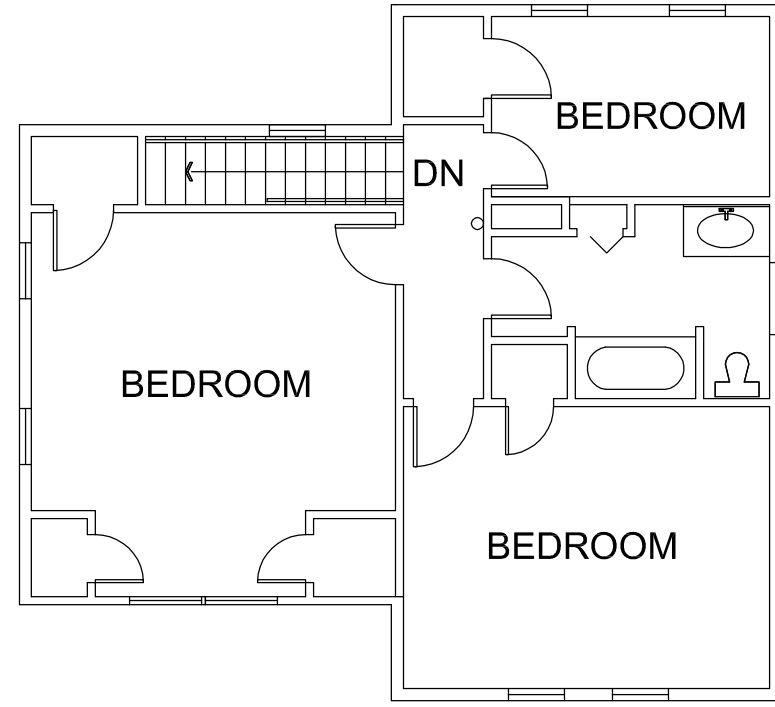
3 SOUTH ELEVATION
A106 SCALE: 1/8" = 1'-0"



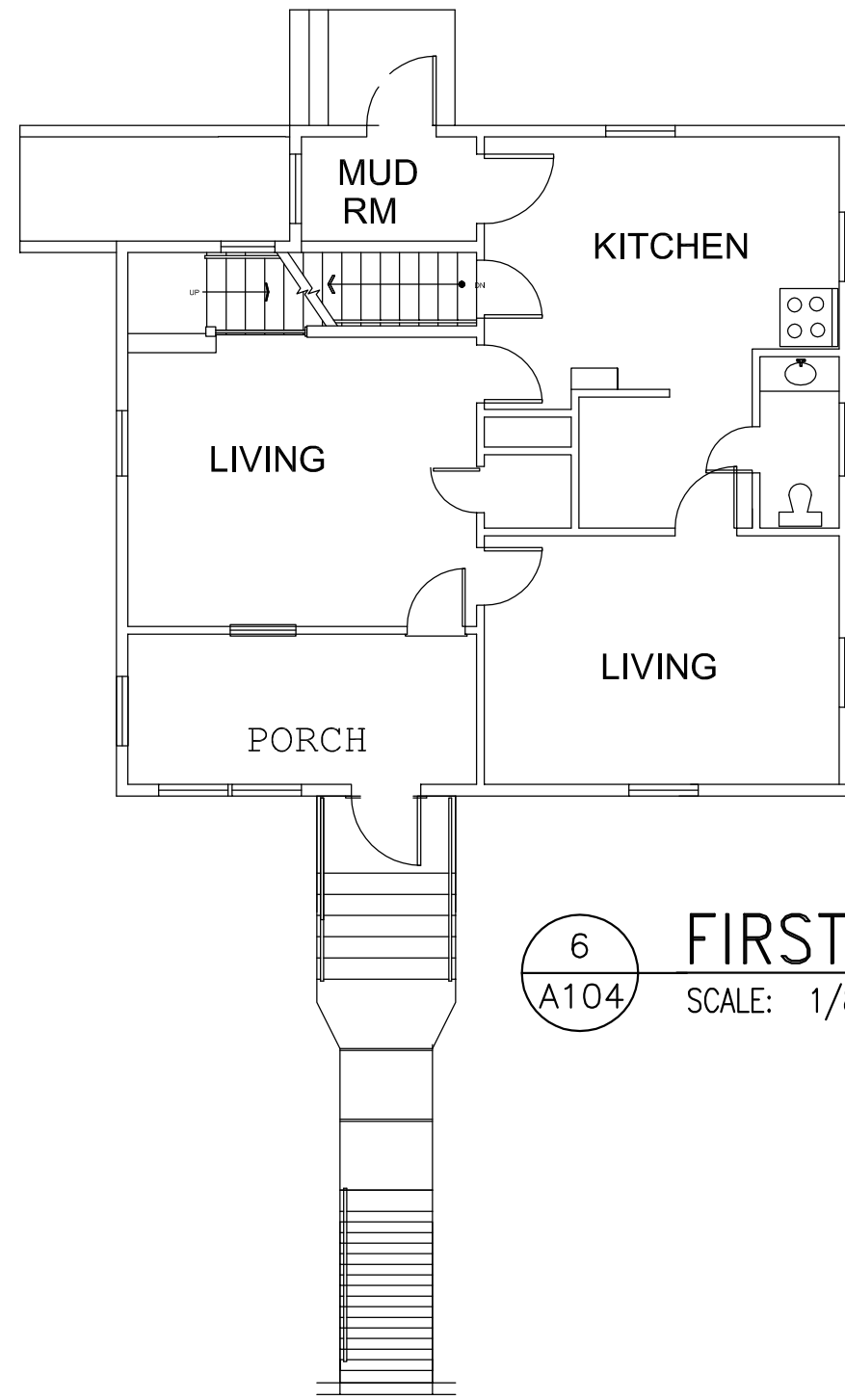
2 WEST ELEVATION
A106 SCALE: 1/8" = 1'-0"



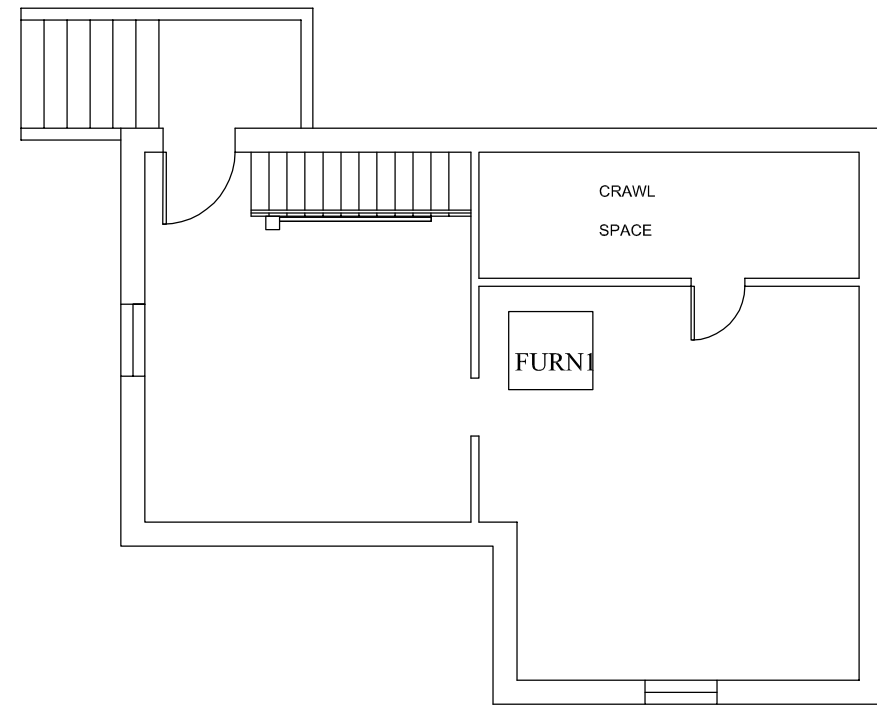
4 NORTH ELEVATION
A106 SCALE: 1/8" = 1'-0"



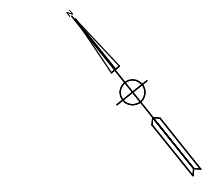
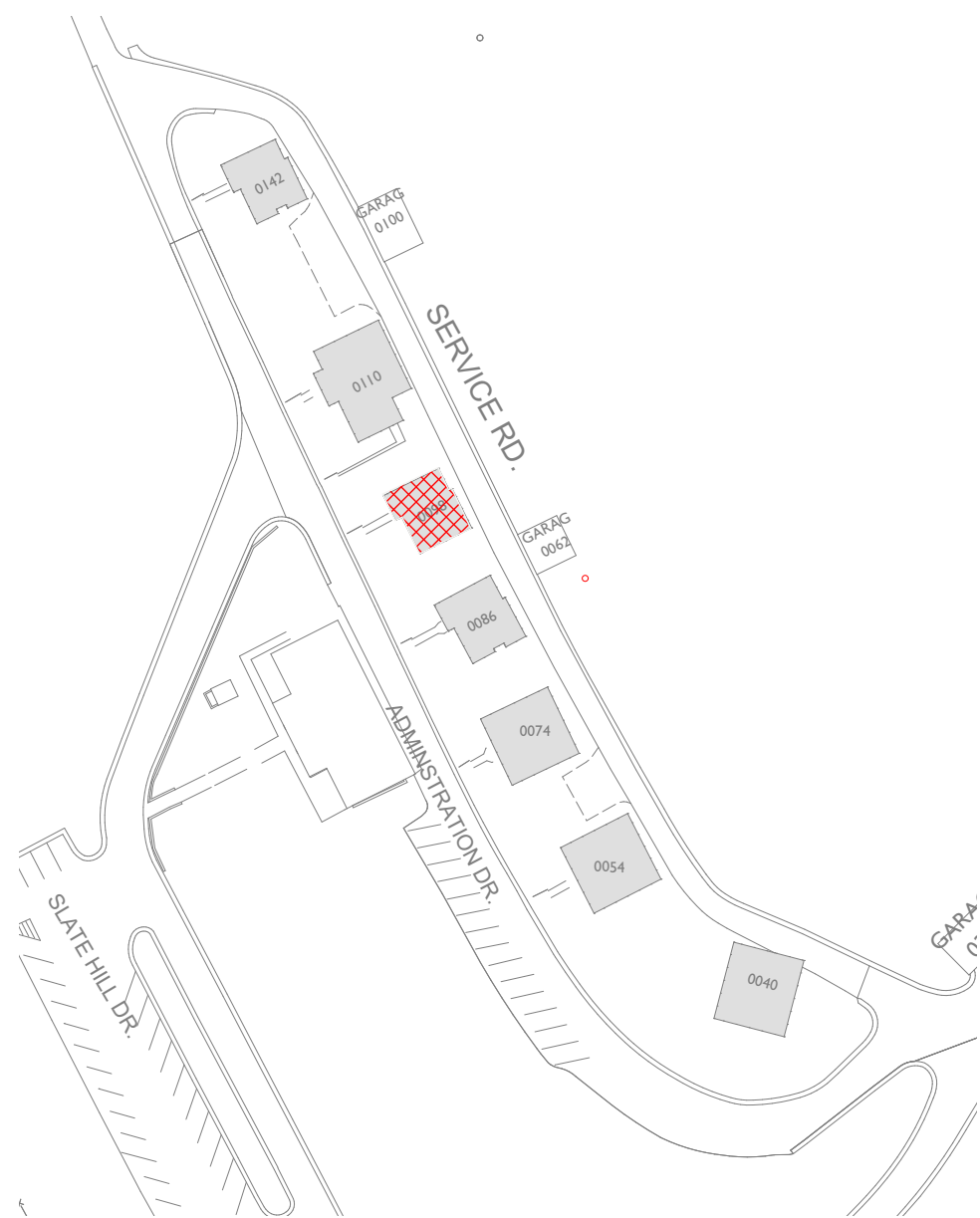
5 SECOND FLOOR PLAN
A104 SCALE: 1/8" = 1'-0"



6 FIRST FLOOR PLAN
A104 SCALE: 1/8" = 1'-0"



7 BASEMENT PLAN
A104 SCALE: 1/8" = 1'-0"



- 1 WINDOW MARKS
1 DOOR MARKS

	DEMOLITION NOTES BUILDING 98	NEW SCOPE OF WORK BUILDING 98
1	BASEBOARDS EXISTING BASEBOARDS MAY HAVE LBP. REMOVE AND DISCARD ALL BASEBOARDS.	BASEBOARDS REPLACE ALL BASEBOARDS – MATCH EXISTING
2	DOOR CASING, FRAMES & TRIM INTERIOR AND EXTERIOR DOOR CASINGS, FRAMES AND TRIM MAY HAVE LBP REMOVE AND DISCARD ALL DOOR CASINGS, FRAMES AND TRIM. SEE DRAWING A1.07.	DOOR CASING, FRAMES & TRIM REPLACE ALL DOOR CASINGS AND TRIM MATCH EXISTING PATCH REPAIR ADJACENT SURFACES TO MATCH EXISTING CONDITONS.
3	DOORS EXISTING PAINTED DOORS MAY HAVE LBP. REMOVE PAINT FROM EXISTING DOORS. IF EXTERIOR DOOR PAINT MUST BE STRIPPED OFFSITE, INSTALL TEMPORARY BARRIERS TO PERVENT MOISTURE INTRUSION INTO THE UNITS. SET ASIDE UNPAINTED STAINED INTERIOR WOODEN DOORS FOR REHANGING.	DOORS REPLACE ALL DOORS AFTER PAINT REMOVAL AND REPAINT. EXCEPT UNPAINTED STAINED INTERIOR WOODEN DOORS. REHANG STAINED UNPAINTED INTERIOR DOORS.
4	WINDOWS EXISTING WINDOW TRIMS, SILL AND APRON MAY HAVE LBP. REMOVE AND DISCARD. EXCLUDE THE BASEMENT WINDOW AND BASEMENT EXTERIOR DOOR. THESE COMPONENTS WERE RECENTLY REPLACED BY OFMR.	WINDOWS REPLACE WINDOW TRIMS, SILL AND APRON. FOR PURPOSES OF QUANTITY TAKE-OFF, ALL WINDOW SIZES ARE 20"x30". FIELD VERIFICATION OF ACTUAL QUANTITIES WILL BE REQUIRED.
5	SHELVES WHITE PANTRY FOOD SHELF MAY HAVE LEAD-BASED PAINT. REMOVE AND DISCARD	SHELVES REPLACE WOOD FOOD SHELF AND CABINET
6	ABATEMENT EXISTING CRAWL SPACE CONTAINS ASBESTOS CONTAINING MATERIALS (ACM) AND MAY CONTAIN LBP. REMOVE ACM AND GROUND SURFACE PER REGULATION. REMOVE ALL EXTERIOR TRIM AT CRAWL SPACE ACCESS YELLOW PAINTED CABINET LOCATED IN BASEMENT CONTAINS LEAD-BASED PAINT. DISCARD	NOT USED
7	PORCH EXTERIOR WOOD PORCH MAY HAVE LBP.	PORCH EXTERIOR WOOD PORCH HAS DETECTABLE QUANTITIES OF LEAD WITHIN PAINT. REMOVE ALL VISIBLE PAINT FROM THE PORCH FLOOR AND REPAINT.
8	PAINTED CABINET YELLOW PAINTED CABINET LOCATED IN THE BASEMENT CONTAINS LEAD-BASED PAINT. DISCARD. REFERENCE IAW PROJECT SPECIFICATIONS 028300 SECTION 3.19.	INTERIOR PAINTING STABILIZE ALL PEELING, CRACKING, ALLIGATORING, DAMAGED AND/OR DETERIORATED PAINT LOCATED IN THE RESIDENCE. REFERENCE IAW SI SPECIFICATION 028300. FOLLOWING PAINT STABILIZATION, MATCH, PRIME AND REPAINT. REPAINT ALL WALLS (EXCLUDING BASEMENT WALLS).
9	NOT USED	STAIRS PAINT ON THE BASEMENT STAIR TREAD CONTAINS DETECTABLE QUANTITIES OF LEAD. SIZE AND INSTALL STAIR TREAD COVERS OVER PAINTED BASEMENT STAIR TREADS.



Printed: 3/2/2022

SMITHSONIAN FACILITIES
APPROVAL BLOCK

DM: _____
DESIGN CHIEF: _____
R.E.: _____
OPPM: _____
OFM&R: _____
OSHEM: _____
OPS: _____

THIS PROJECT IS APPROVED AS BEING IN CONFORMANCE WITH THE APPLICABLE PROVISIONS OF SMITHSONIAN INSTITUTION DIRECTIVE 410.

MICHAEL J. CARRANCKO, P.E., DIRECTOR FOR ENGINEERING AND DESIGN, OPOC

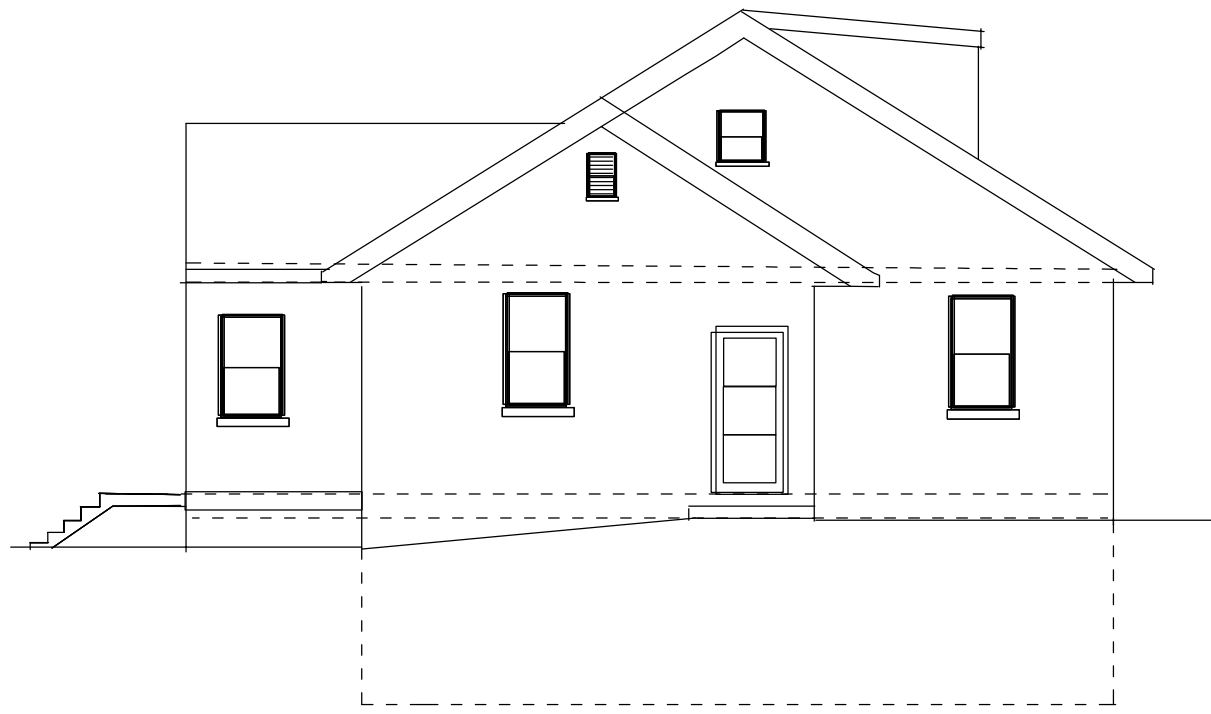
DATE	SUBMISSION
01/28/22	100% FINAL

NZP-SCBI Admin Row
Abatement
PROJECT NUMBER 1570104

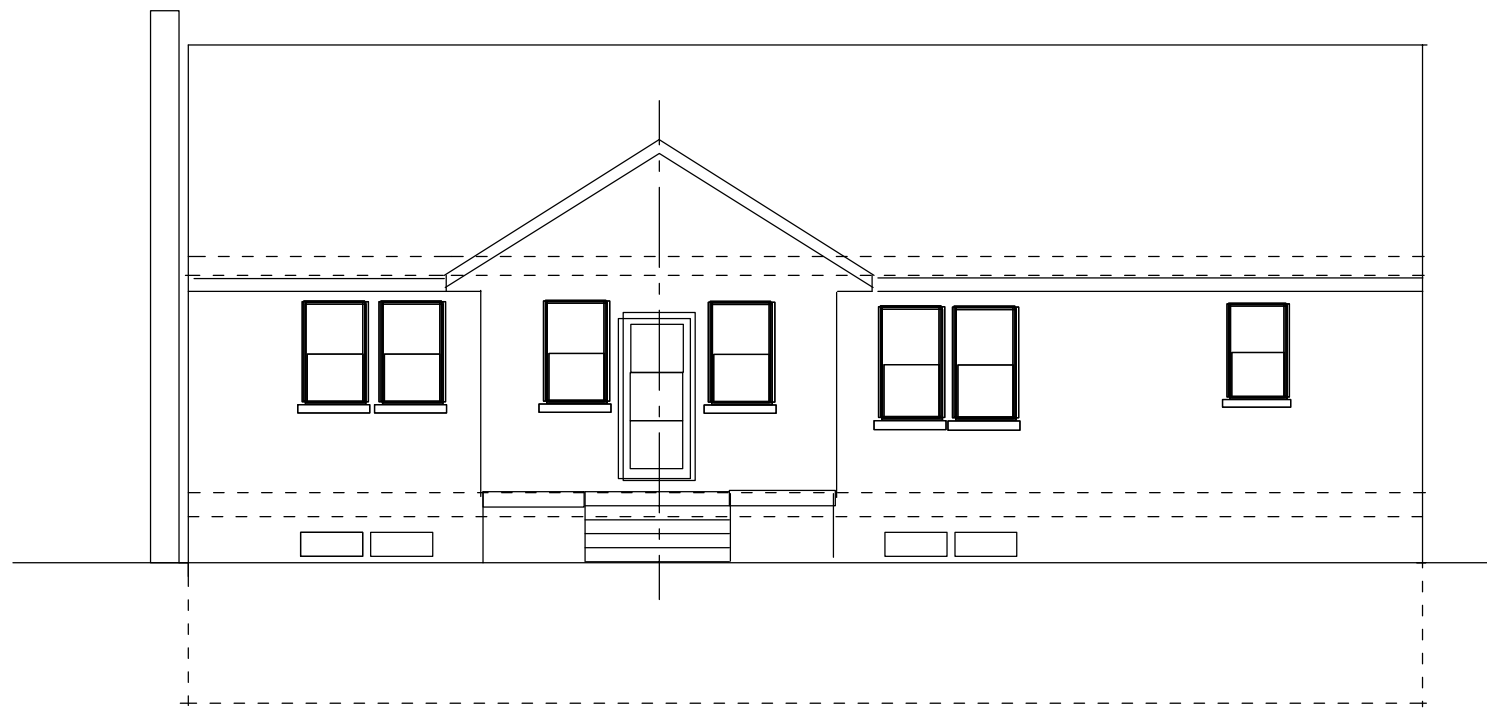
1500 Remont Rd
Front Royal , VA 22630

Building 098

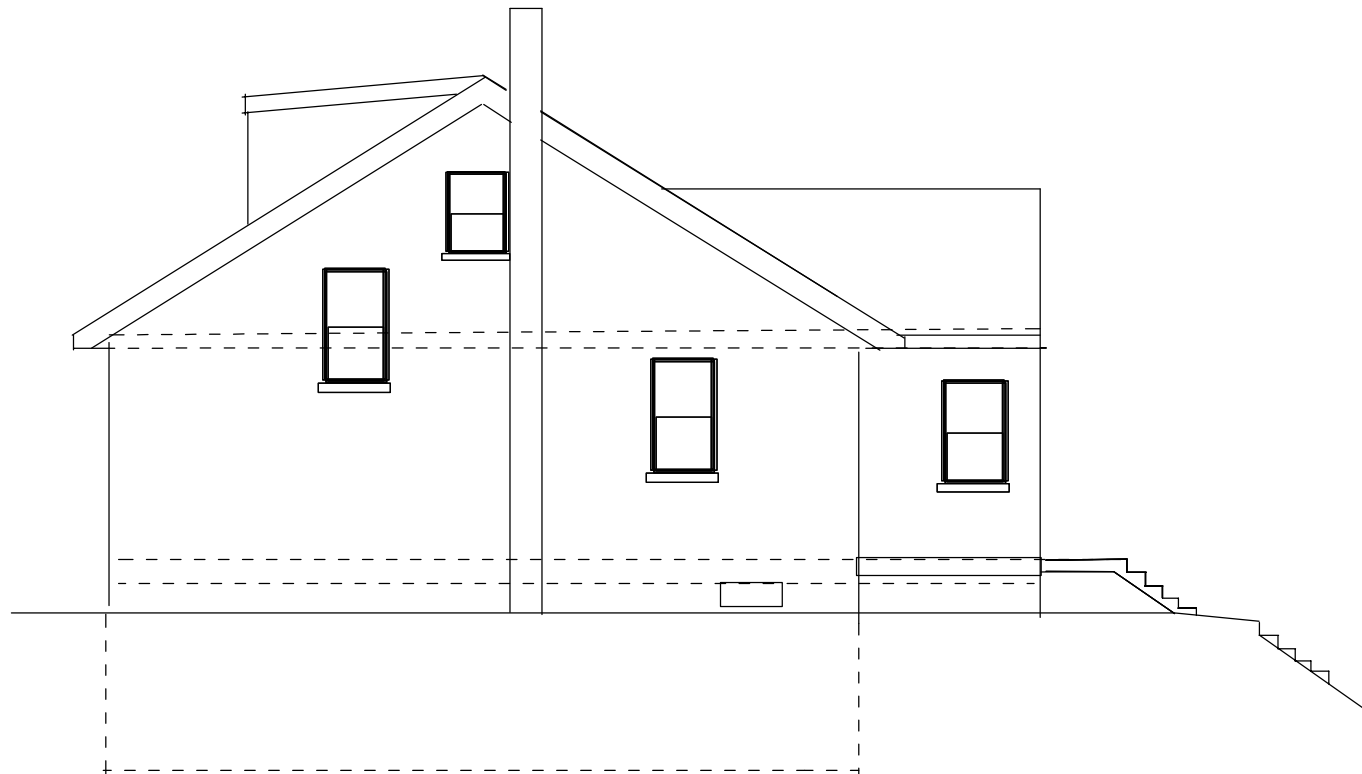
A1.04



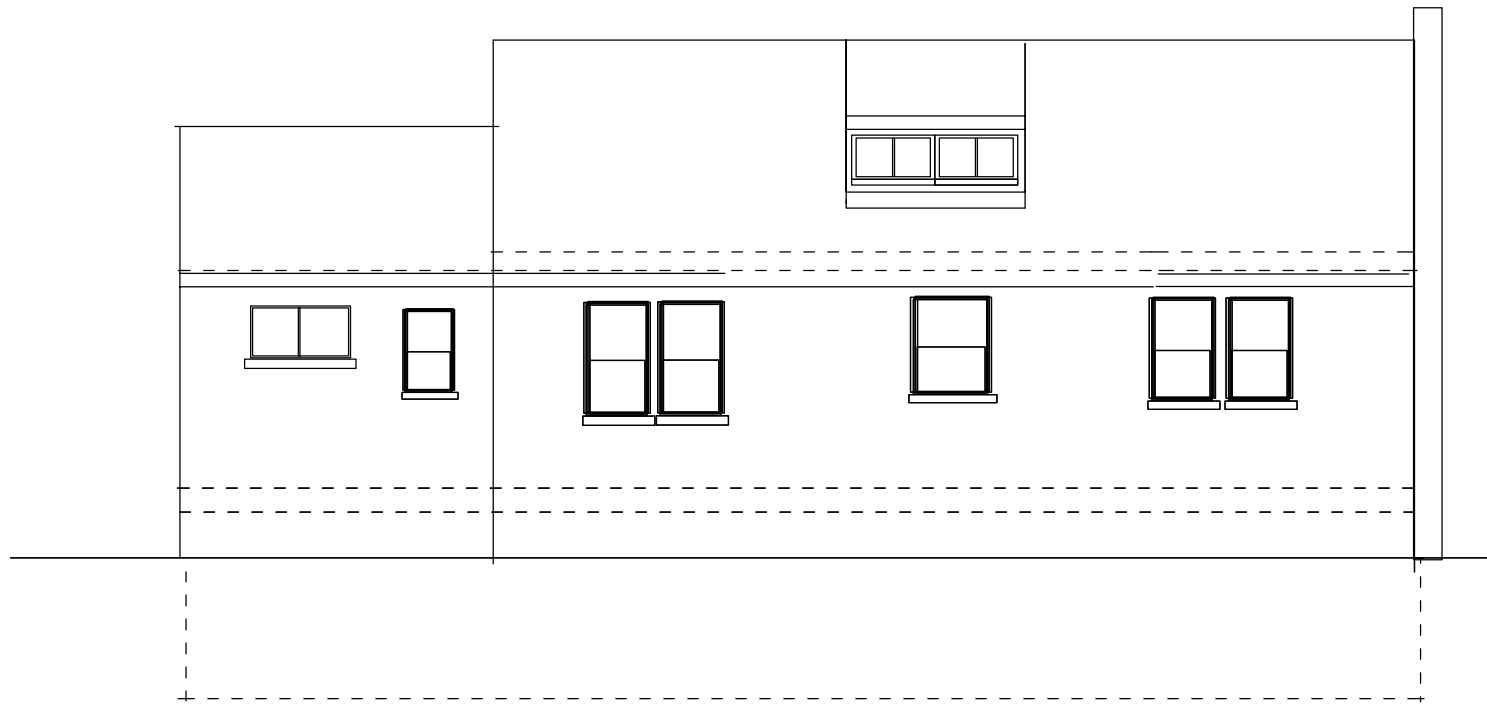
1 EAST ELEVATION
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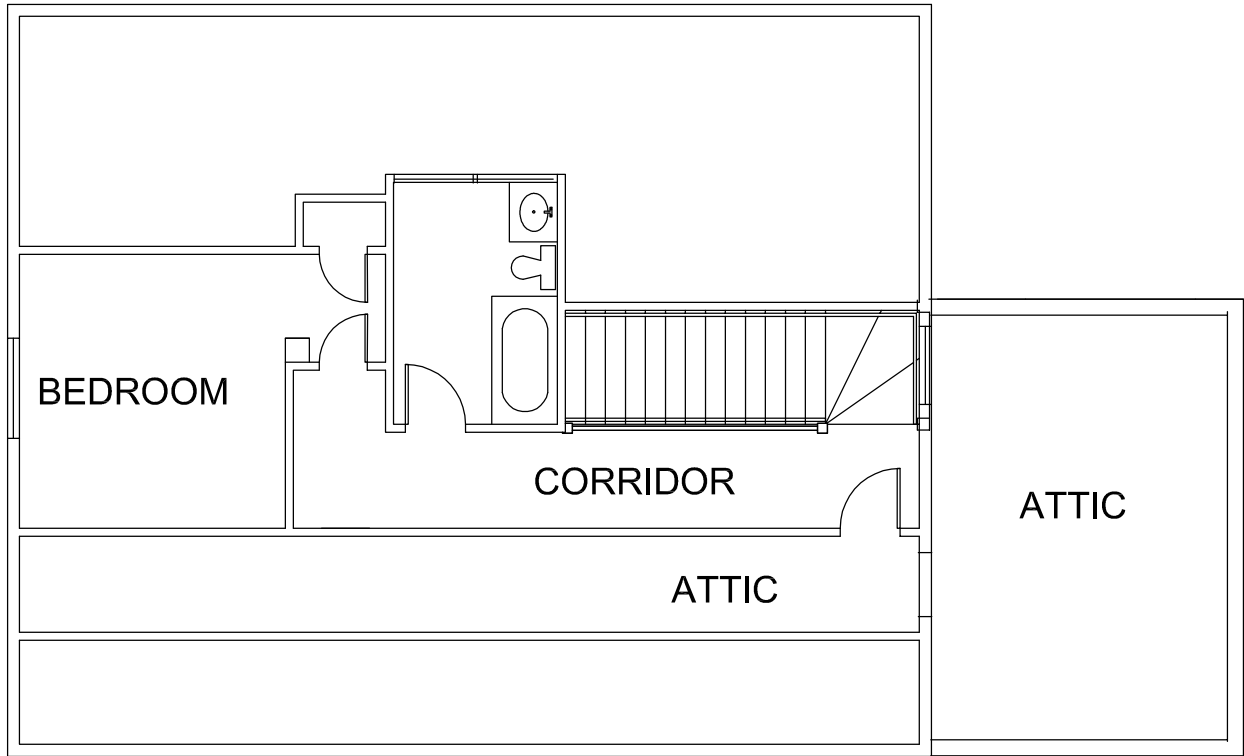
3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



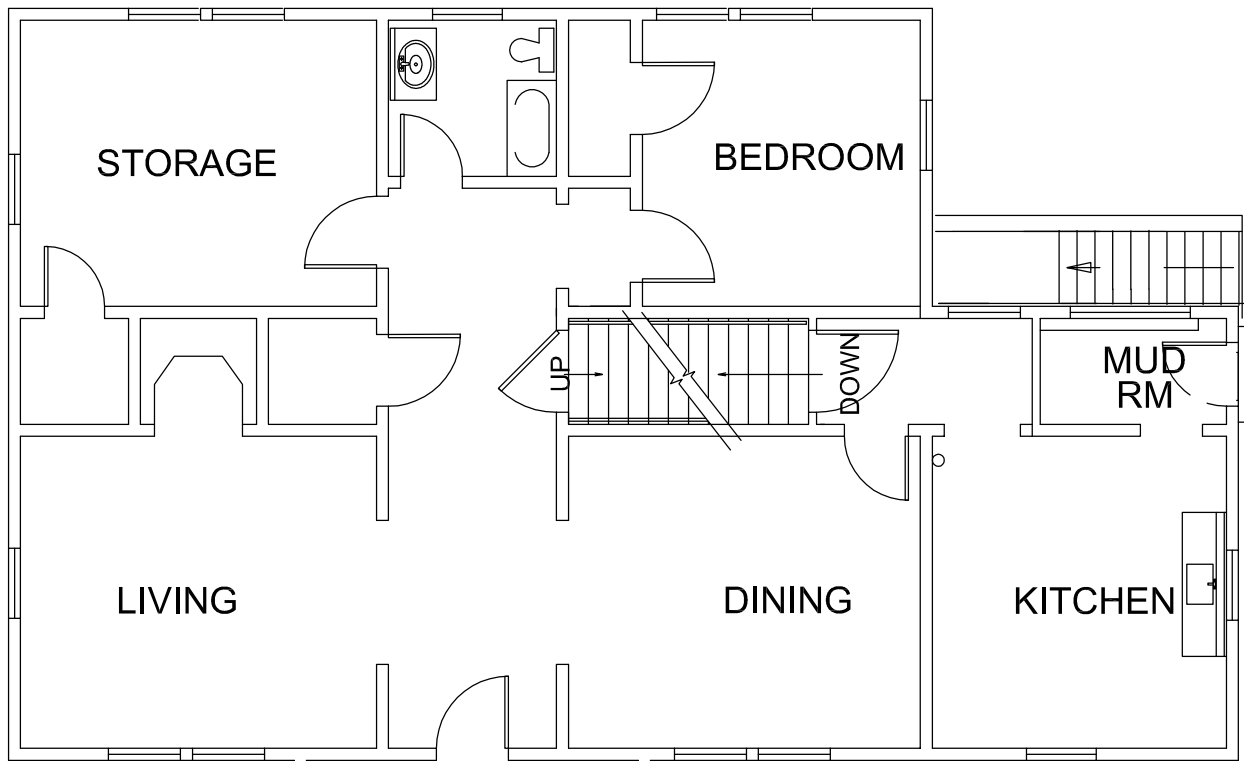
2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



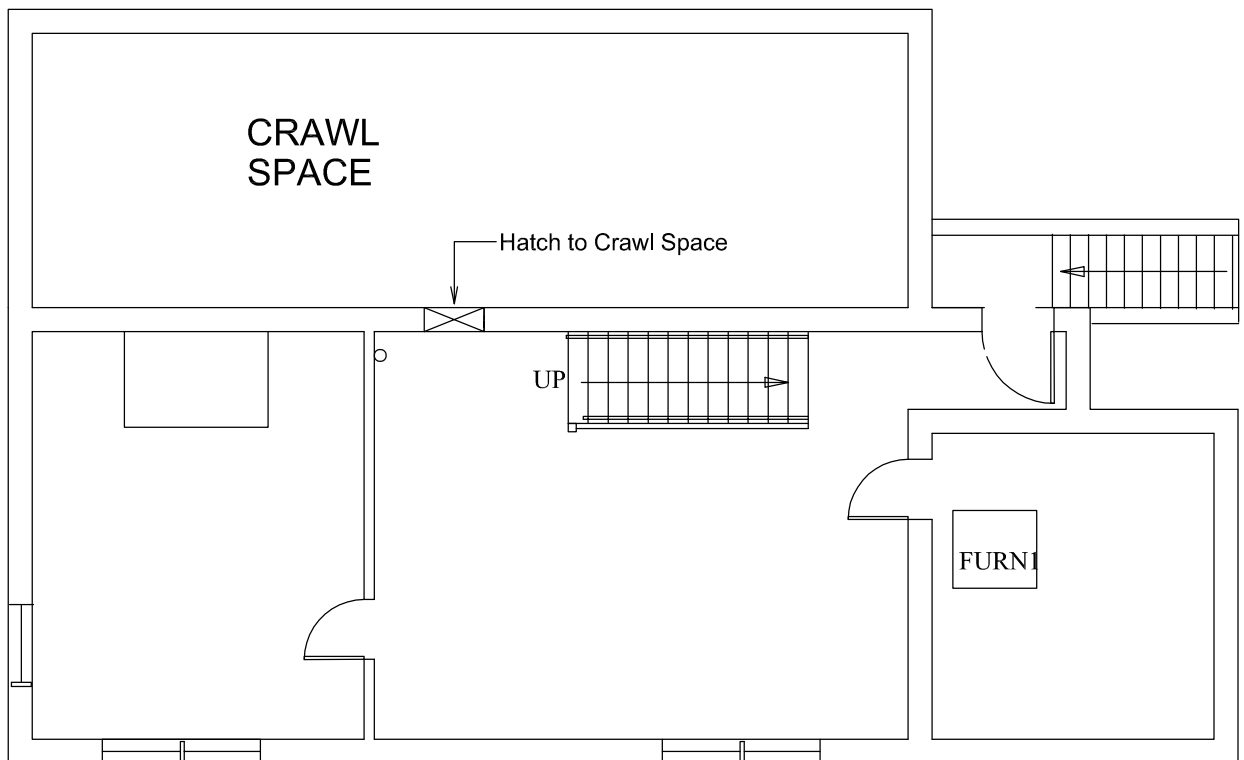
4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



5 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



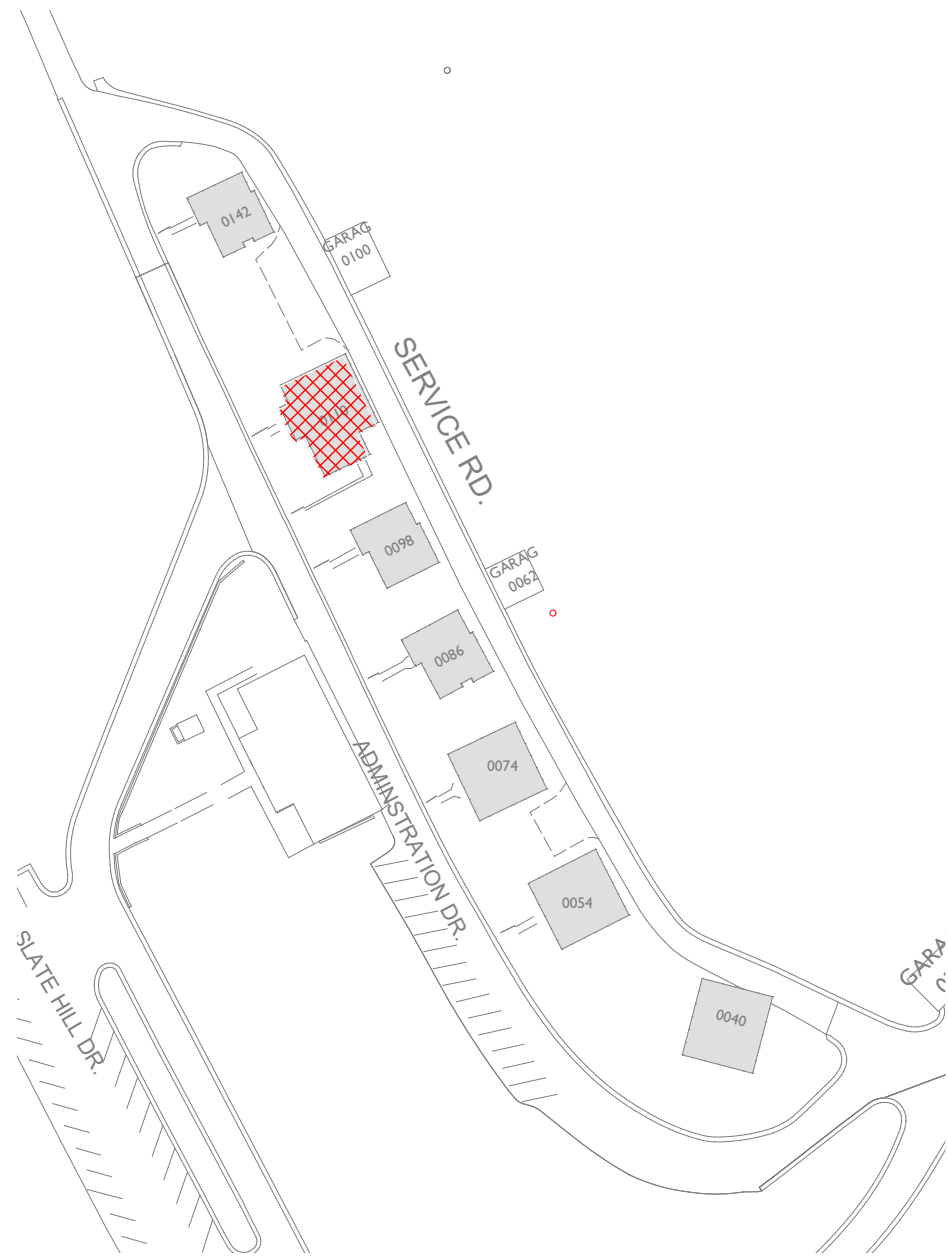
6 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



7 BASEMENT PLAN
SCALE: 1/8" = 1'-0"

- 1 WINDOW MARKS
- 1 DOOR MARKS

	DEMOLITION NOTES BUILDING 110	NEW SCOPE OF WORK BUILDING 110
1	BASEBOARDS EXISTING BASEBOARDS MAY HAVE LBP. REMOVE AND DISCARD ALL BASEBOARDS.	BASEBOARDS REPLACE ALL BASEBOARDS – MATCH EXISTING
2	DOOR CASING, FRAMES & TRIM INTERIOR AND EXTERIOR DOOR CASINGS, FRAMES AND TRIM MAY HAVE LBP REMOVE AND DISCARD ALL DOOR CASINGS, FRAMES AND TRIM. SEE DRAWING A1.07.	DOOR CASING, FRAMES & TRIM REPLACE ALL DOOR CASINGS AND TRIM MATCH EXISTING PATCH REPAIR ADJACENT SURFACES TO MATCH EXISTING CONDITONS.
3	DOORS EXISTING PAINTED DOORS MAY HAVE LBP. REMOVE PAINT FROM EXISTING DOORS. IF EXTERIOR DOOR PAINT MUST BE STRIPPED OFFSITE. INSTALL TEMPORARY BARRIERS TO PERVENT MOISTURE INTRUSION INTO THE UNITS. SET ASIDE UNPAINTED STAINED INTERIOR WOODEN DOORS FOR REHANGING.	DOORS REPLACE ALL DOORS AFTER PAINT REMOVAL AND REPAINT. EXCEPT UNPAINTED STAINED INTERIOR WOODEN DOORS. REHANG STAINED UNPAINTED INTERIOR DOORS.
4	WINDOWS EXISTING WINDOW TRIMS, SILL AND APRON MAY HAVE LBP. REMOVE AND DISCARD. EXCLUDE THE BASEMENT WINDOW AND BASEMENT EXTERIOR DOOR. THESE COMPONENTS WERE RECENTLY REPLACED BY OFMR.	WINDOWS REPLACE WINDOW TRIMS, SILL AND APRON. FOR PURPOSES OF QUANTITY TAKE- OFF, ALL WINDOW SIZES ARE 20"x30". FIELD VERIFICATION OF ACTUAL QUANTITIES WILL BE REQUIRED.
5	SHELVES WHITE PANTRY FOOD SHELF MAY HAVE LEAD-BASED PAINT. REMOVE AND DISCARD	SHELVES REPLACE WOOD FOOD SHELF AND CABINET
6	ABATEMENT EXISTING CRAWL SPACE CONTAINS ASBESTOS CONTAINING MATERIALS (ACM) AND MAY CONTAIN LBP. REMOVE ACM AND GROUND SURFACE PER REGULATION. REMOVE ALL EXTERIOR TRIM AT CRAWL SPACE ACCESS YELLOW PAINTED CABINET LOCATED IN BASEMENT CONTAINS LEAD-BASED PAINT. DISCARD	NOT USED
7	PORCH EXTERIOR WOOD PORCH MAY HAVE LBP.	PORCH EXTERIOR WOOD PORCH HAS DETECTABLE QUANTITIES OF LEAD WITHIN PAINT. REMOVE ALL VISIBLE PAINT FROM THE PORCH FLOOR AND REPAINT.
8	INTERIOR PAINTING STRIP ALL LOOSE AND DETERIORATED LEAD-BASED PAINT ON THE UNDERSIDE OF THE AWNING, ADJACENT TO THE MUD ROOM ENTRANCE. MATCH AND REPAIT WITH HIGH QUALITY EXTERIOR PAINT	INTERIOR PAINTING STABILIZE ALL PEELING, CRACKING, ALLIGATORING, DAMAGED AND/OR DETERIORATED PAINT LOCATED IN THE RESIDENCE. REPAIR BASEMENT STAIRWELL CEILING TO THE SATISFACTION OF THE COTR.
9	NOT USED	STAIRS PAINT ON THE BASEMENT STAIR TREAD CONTAINS DETECTABLE QUANTITIES OF LEAD. SIZE AND INSTALL STAIR TREAD COVERS OVER PAINTED BASEMENT STAIR TREADS.



Printed: 3/7/2022

SMITHSONIAN FACILITIES
APPROVAL BLOCK

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R.E.: _____
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OFM&R: _____
OSHEM: _____
OPS: _____

THIS PROJECT IS APPROVED AS BEING IN
CONFORMANCE WITH THE APPLICABLE
PROVISIONS OF SMITHSONIAN INSTITUTION
DIRECTIVE 410.

MICHAEL J. CARRANCKO, P.E., DIRECTOR FOR ENGINEERING AND DESIGN, OPDC

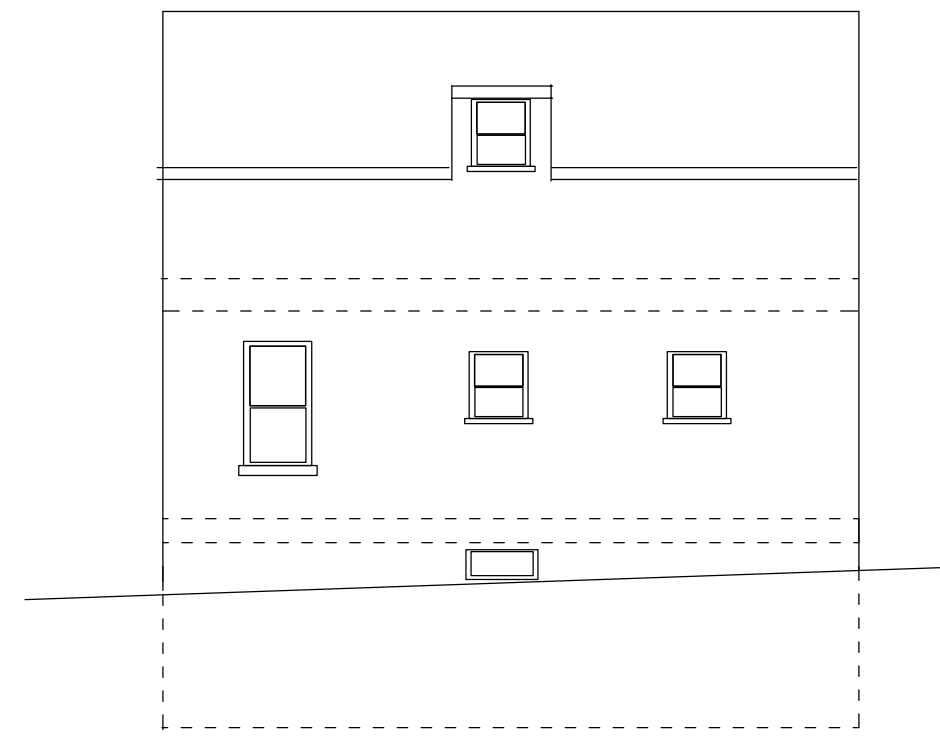
DATE	SUBMISSION
01/28/22	100% FINAL

**NZP-SCBI Admin Row
Abatement**
PROJECT NUMBER 1570104

1500 Remont Rd
Front Royal , VA 22630

Building 110

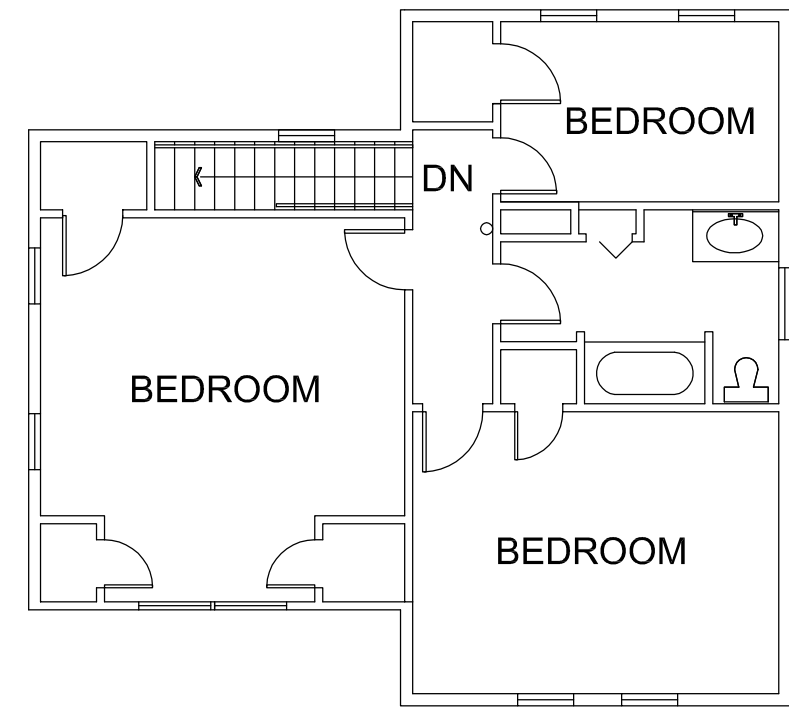
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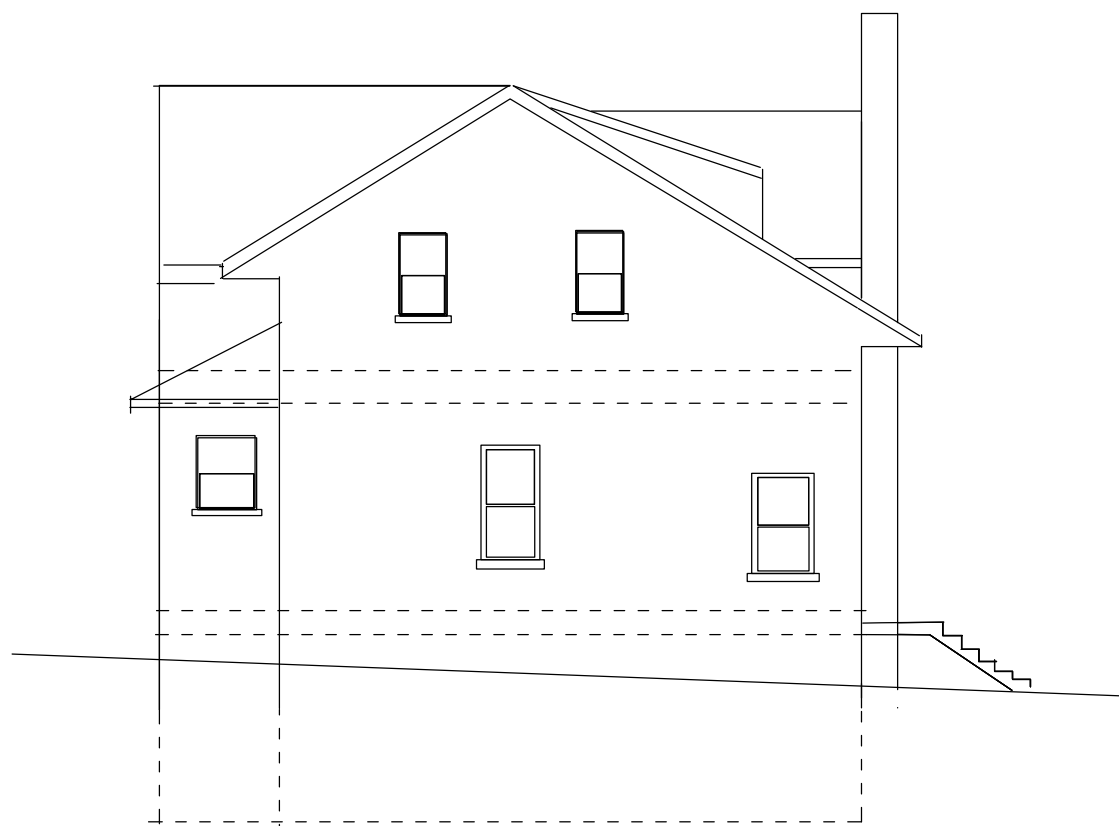
1 EAST ELEVATION
A104 SCALE: 1/8" = 1'-0"



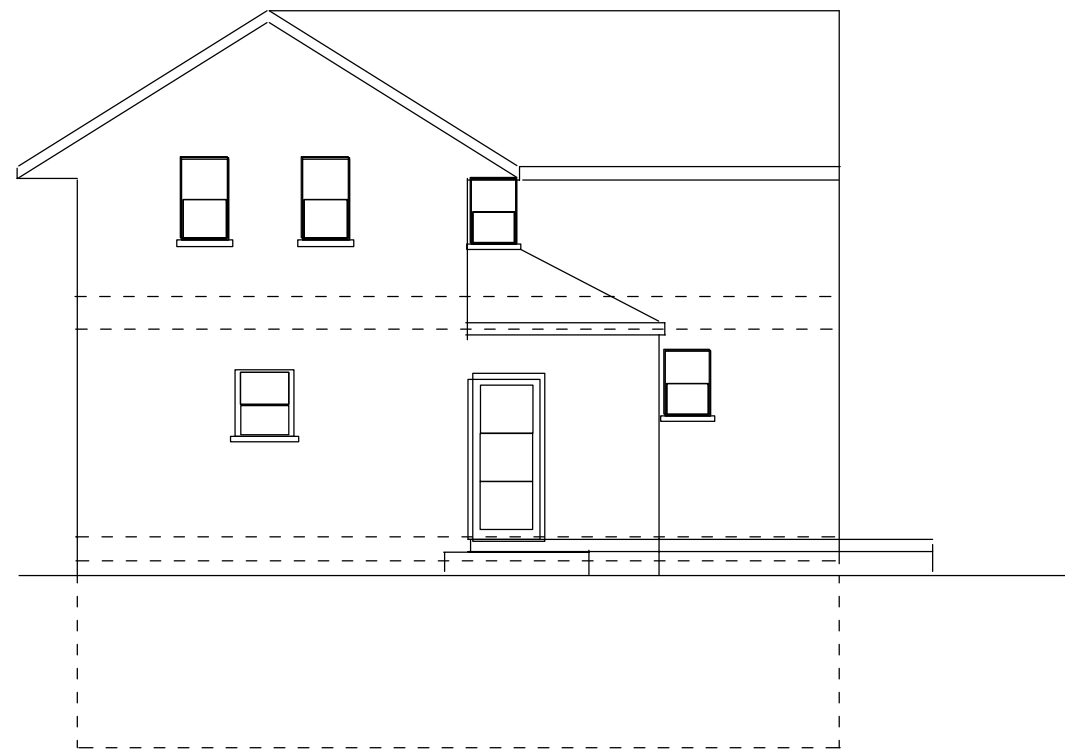
3 SOUTH ELEVATION
A104 SCALE: 1/8" = 1'-0"



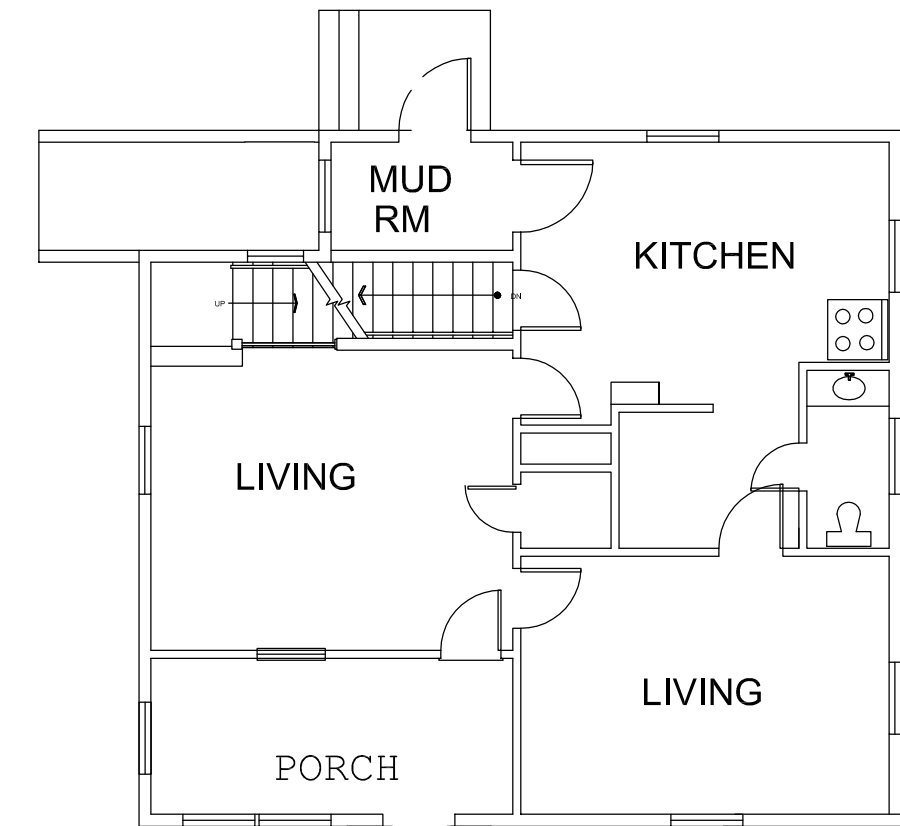
5 SECOND FLOOR PLAN
A104 SCALE: 1/8" = 1'-0"



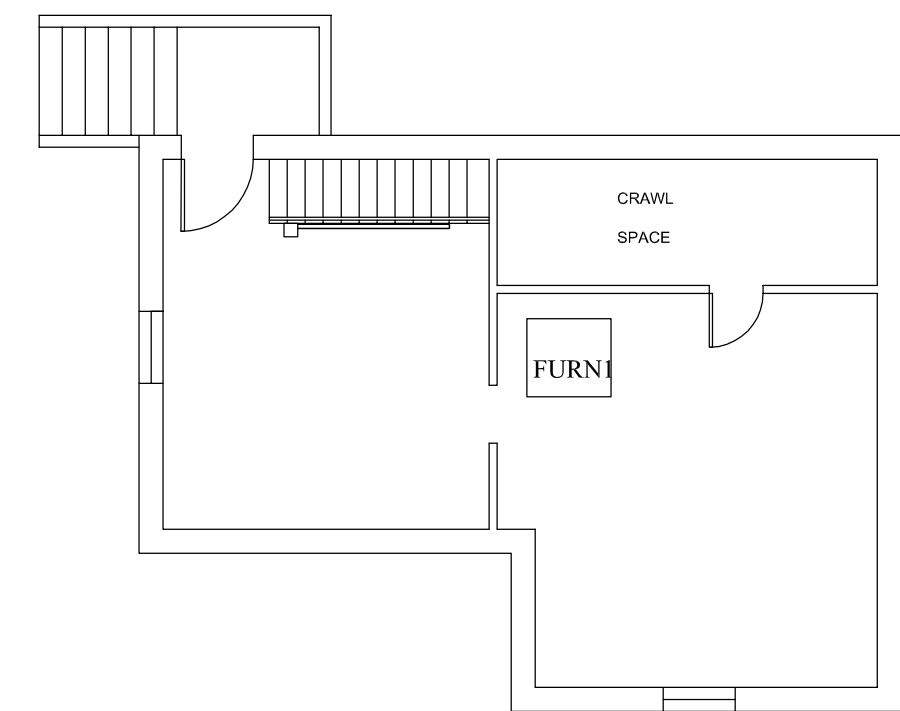
2 WEST ELEVATION
A104 SCALE: 1/8" = 1'-0"



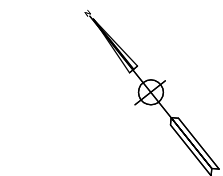
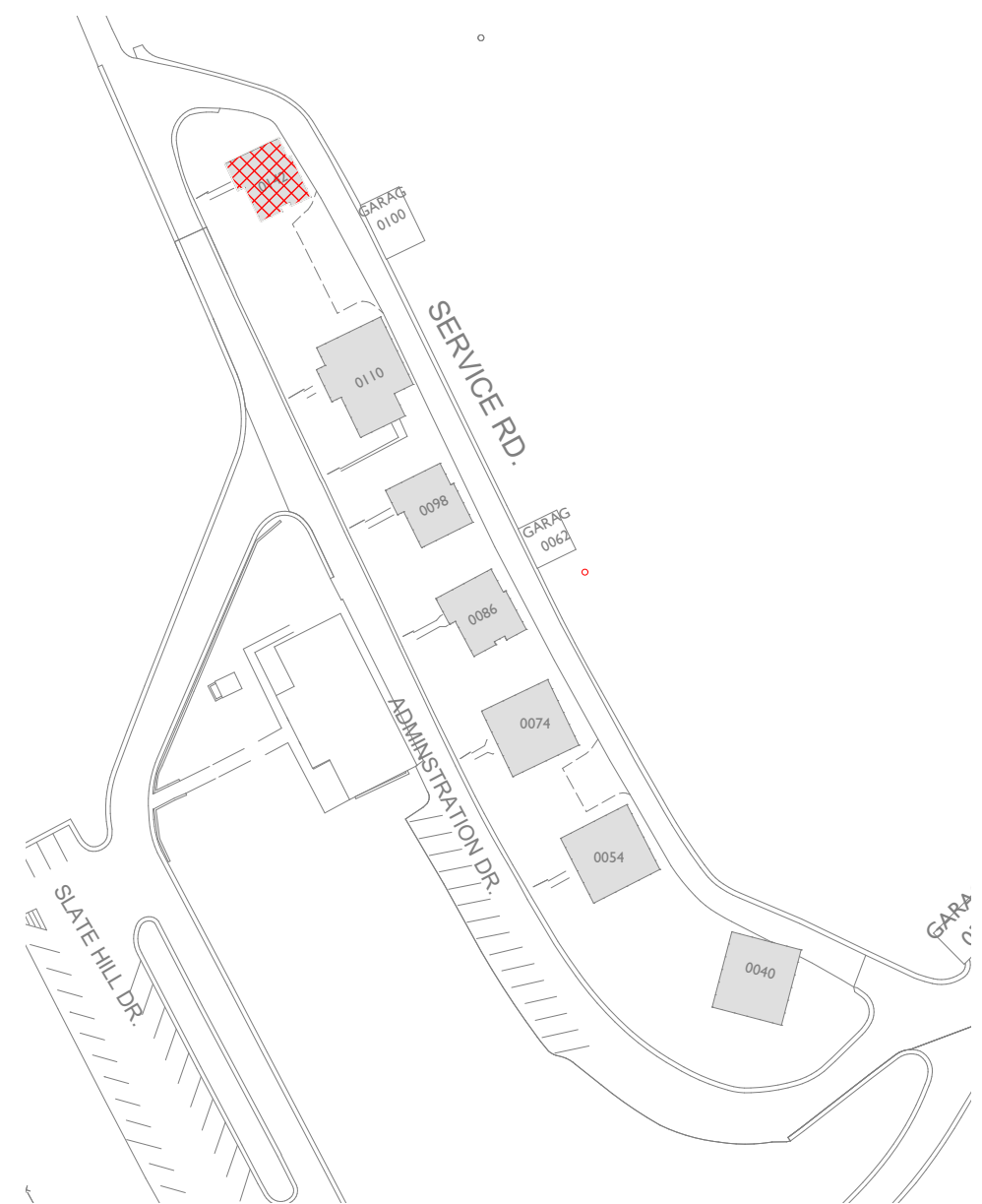
4 NORTH ELEVATION
A104 SCALE: 1/8" = 1'-0"



6 FIRST FLOOR PLAN
A104 SCALE: 1/8" = 1'-0"



7 BASEMENT PLAN
A104 SCALE: 1/8" = 1'-0"



- WINDOW MARKS
- DOOR MARKS

	DEMOLITION NOTES BUILDING 142	NEW SCOPE OF WORK BUILDING 142
1	BASEBOARDS EXISTING BASEBOARDS MAY HAVE LBP. REMOVE AND DISCARD ALL BASEBOARDS.	BASEBOARDS REPLACE ALL BASEBOARDS – MATCH EXISTING
2	DOOR CASING, FRAMES & TRIM INTERIOR AND EXTERIOR DOOR CASINGS, FRAMES AND TRIM MAY HAVE LBP REMOVE AND DISCARD ALL DOOR CASINGS, FRAMES AND TRIM. SEE DRAWING A1.07.	DOOR CASING, FRAMES & TRIM REPLACE ALL DOOR CASINGS AND TRIM MATCH EXISTING PATCH REPAIR ADJACENT SURFACES TO MATCH EXISTING CONDITONS.
3	DOORS EXISTING PAINTED DOORS MAY HAVE LBP. REMOVE PAINT FROM EXISTING DOORS. IF EXTERIOR DOOR PAINT MUST BE STRIPPED OFFSITE, INSTALL TEMPORARY BARRIERS TO PERVENT MOISTURE INTRUSION INTO THE UNITS. SET ASIDE UNPAINTED STAINED INTERIOR WOODEN DOORS FOR REHANGING. THE FOLLOWING DOORS AND DOOR FRAMES ARE KNOWN TO CONTAIN LEAD-BASED PAINT: DOOR AND DOOR FRAME SEPARATING PORCH AND LIVING ROOM, KITCHEN AND MUD ROOM, 2ND FLOOR LARGE BEDROOM CLOSET, BASEMENT EXTERIOR DOOR. REPLACE THESE DOORS AND DOOR FRAMES.	DOORS REPLACE ALL DOORS AFTER PAINT REMOVAL AND REPAINT. EXCEPT UNPAINTED STAINED INTERIOR WOODEN DOORS. REHANG STAINED UNPAINTED INTERIOR DOORS.
4	WINDOWS EXISTING WINDOW TRIMS, SILL AND APRON MAY HAVE LBP. REMOVE AND DISCARD. EXCLUDE THE BASEMENT WINDOW AND BASEMENT EXTERIOR DOOR. THESE COMPONENTS WERE RECENTLY REPLACED BY OFMR.	WINDOWS REPLACE WINDOW TRIMS, SILL AND APRON. FOR PURPOSES OF QUANTITY TAKE-OFF, ALL WINDOW SIZES ARE 20"x30". FIELD VERIFICATION OF ACTUAL QUANTITIES WILL BE REQUIRED.
5	SHELVES NOT USED	SHELVES REPLACE WOOD FOOD SHELF AND CABINET
6	ABATEMENT EXISTING CRAWL SPACE CONTAINS ASBESTOS CONTAINING MATERIALS (ACM) AND MAY CONTAIN LBP. REMOVE ACM AND GROUND SURFACE PER REGULATION. REMOVE ALL EXTERIOR TRIM AT CRAWL SPACE ACCESS YELLOW PAINTED CABINET LOCATED IN BASEMENT CONTAINS LEAD-BASED PAINT. DISCARD	NOT USED
7	PORCH EXTERIOR WOOD PORCH MAY HAVE LBP.	PORCH EXTERIOR WOOD PORCH HAS DETECTABLE QUANTITIES OF LEAD WITHIN PAINT. REMOVE ALL VISIBLE PAINT FROM THE PORCH FLOOR AND REPAINT.
8	NOT USED	INTERIOR PAINTING STABILIZE ALL PEELING, CRACKING, ALLIGATORING, DAMAGED AND/OR DETERIORATED PAINT LOCATED IN THE RESIDENCE. REFERENCE IAW SI SPECIFICATION 028300. FOLLOWING PAINT STABILIZATION, MATCH, PRIME AND REPAINT. REPAINT ALL WALLS (EXCLUDING BASEMENT WALLS).
9	NOT USED	STAIRS PAINT ON THE BASEMENT STAIR TREAD CONTAINS DETECTABLE QUANTITIES OF LEAD. SIZE AND INSTALL STAIR TREAD COVERS OVER PAINTED BASEMENT STAIR TREADS.



Printed: 3/2/2022
SMITHSONIAN FACILITIES
APPROVAL BLOCK

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DESIGN CHIEF: _____
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OFM&R: _____
OSHEM: _____
OPS: _____
THIS PROJECT IS APPROVED AS BEING IN CONFORMANCE WITH THE APPLICABLE PROVISIONS OF SMITHSONIAN INSTITUTION DIRECTIVE 410.

MICHAEL J. CARRANCKO, P.E., DIRECTOR FOR ENGINEERING AND DESIGN, OPOC
DATE: 01/28/22 SUBMISSION: 100% FINAL

NZP-SCBI Admin Row
Abatement
PROJECT NUMBER 1570104

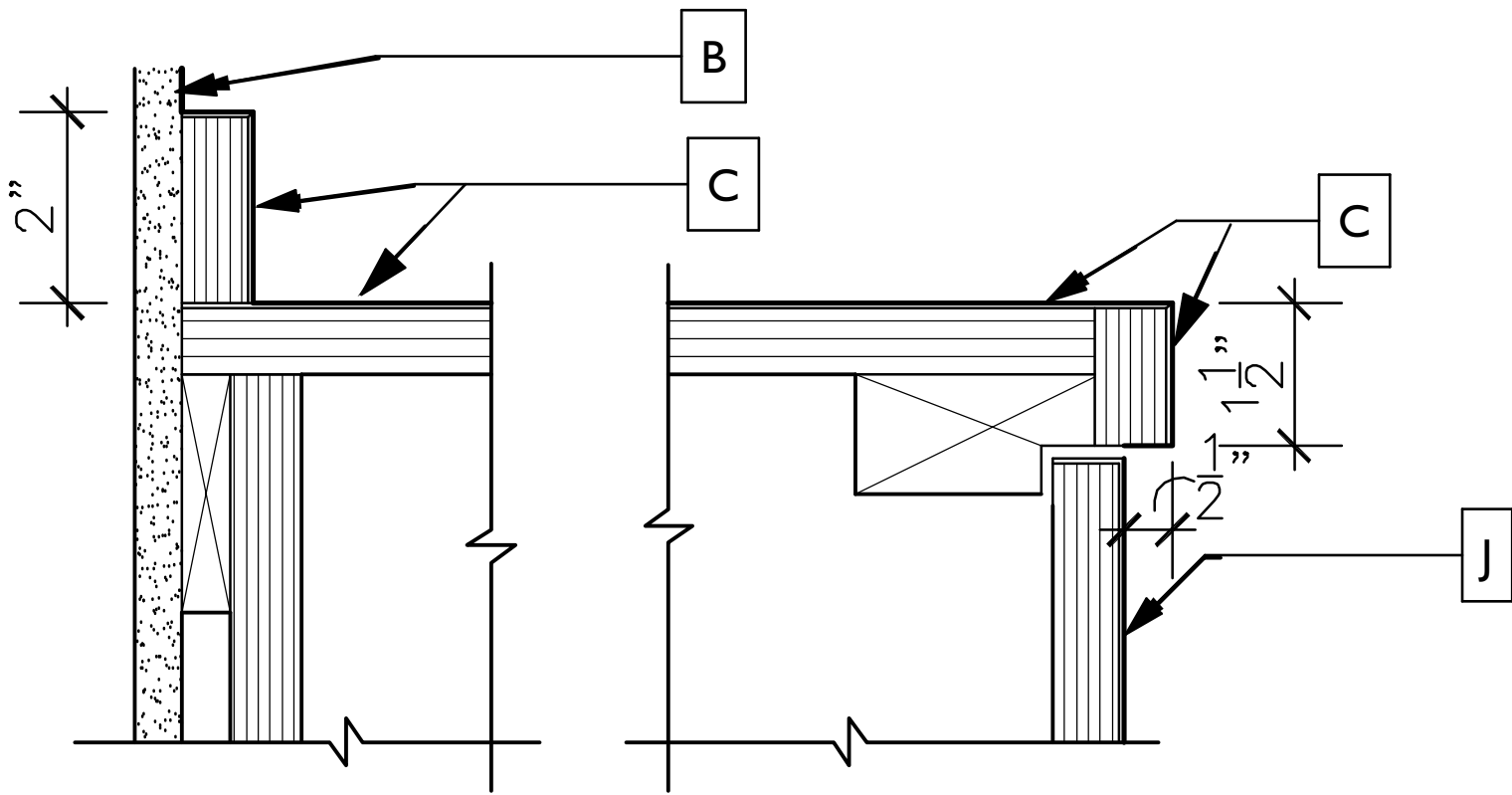
1500 Remont Rd
Front Royal , VA 22630

Building 42

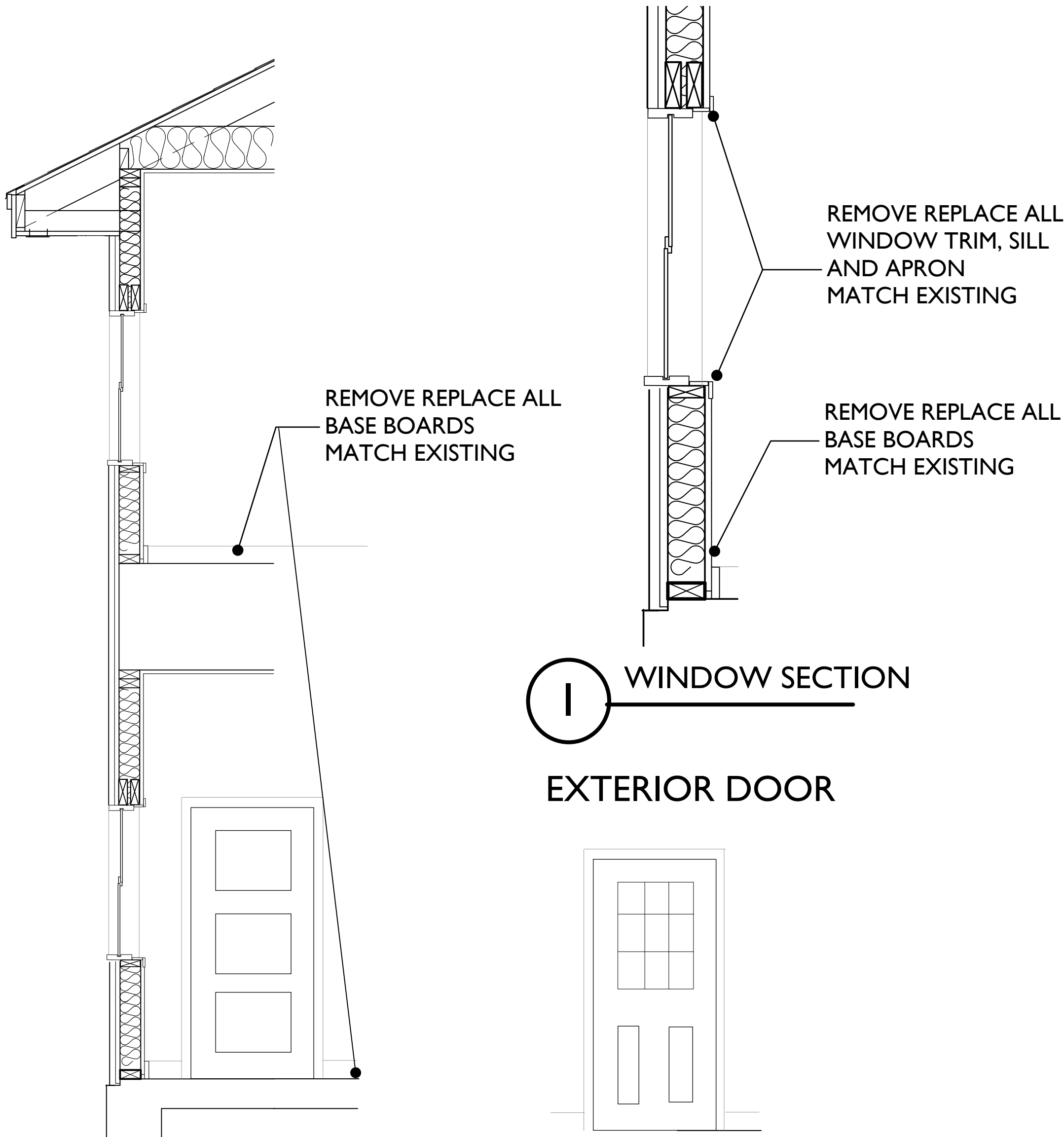
A1.06

KITCHEN CABINET NOTES	
A	TYP. BASE - PAINTED
B	GYP. BD. - PAINTED
C	P. LAM ON PLYWOOD OR MDF.
D	3/4" PLYW00D - PAINTED (TYP.)
E	CEILING BEYOND
F	2X2 SKIRT- PAINTED
G	1/2" X 1 -1/2"- PAINTED
H	PROVIDE STAINLESS STEEL SINK & FAUCET
I	3/4" ADJUSTABLE MELAMINE COVERED SHELF W/METAL PINS (TYP.)
J	3/4" MDF FIXED PANEL, AND DRAWER & DOOR FACES – PAINTED (TYP.)
K	EXISTING FLOORING

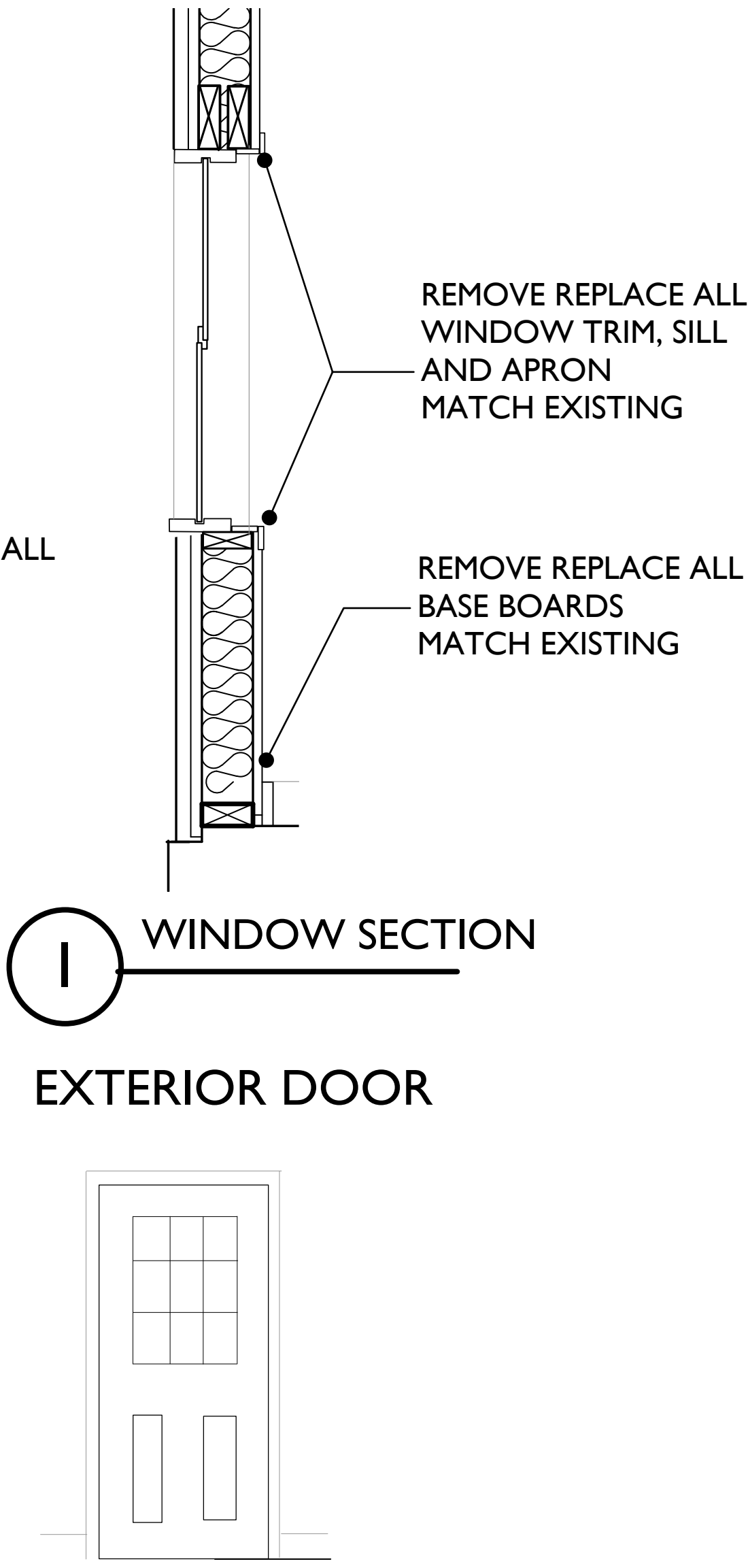
ABBREVIATIONS & SYMBOL LEGEND	
	DOOR—SEE DESIGNATION ON PLAN FOR NEW OR EXISTING
	DOOR MARK
	WINDOW MARK
(E)	EXISTING
(ER)	EXISTING TO BE REPLACED



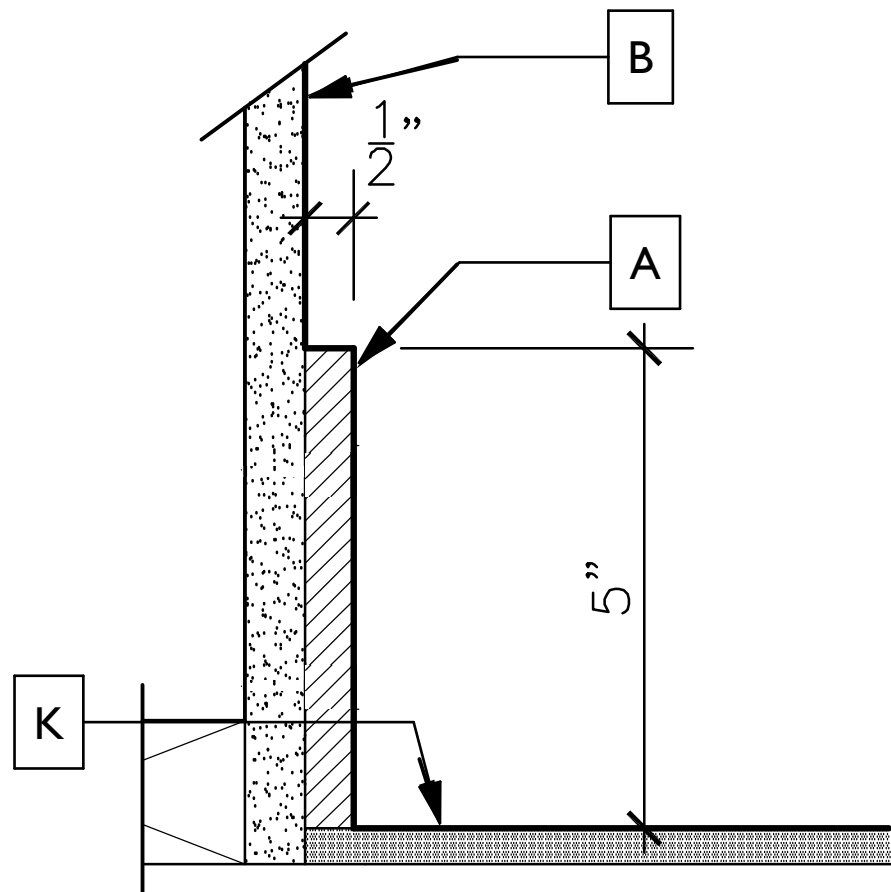
5 **DETAIL** TYP. P.LAM. COUNTER PROFILE
SCALE: 3" = 1'-0"



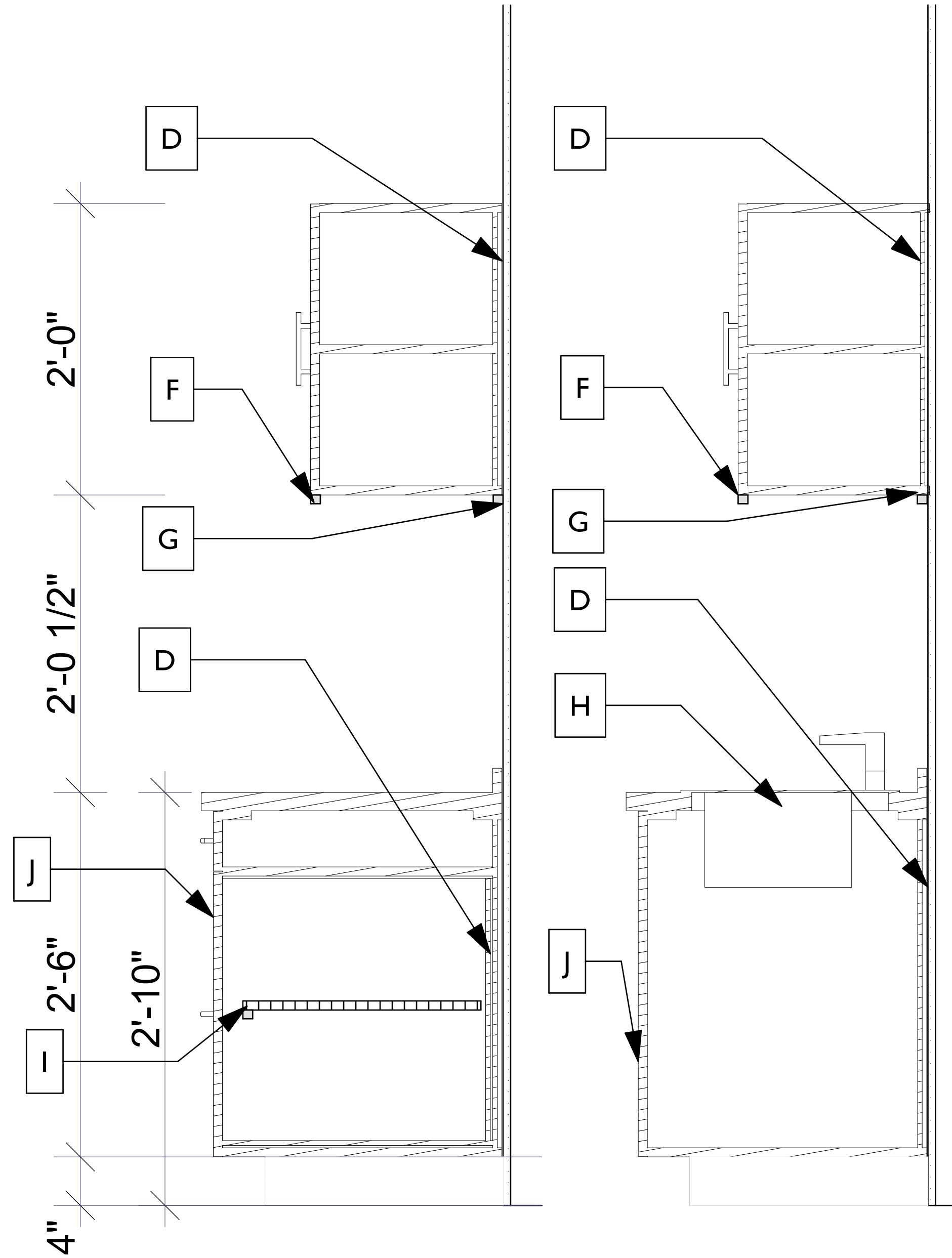
3 **TYP. SECTION**
EXTERIOR DOOR



2 **TYPICAL DOOR TYPE**
9-LITES/ 2 PANEL
EXTERIOR DOOR



4 **TYP. BASE** 4" HIGH
SCALE: 3" = 1'-0"



Kiitchen MillWork

Kiitchen MillWork (Sink)



Printed: 3/7/2022

SMITHSONIAN FACILITIES
APPROVAL BLOCK

DM: _____
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OPPM: _____
OFM&R: _____
OSHEM: _____
OPS: _____

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DIRECTIVE 410.

MICHAEL J. CARRANCHO, P.E., DIRECTOR FOR ENGINEERING AND DESIGN, OPOC
DATE: 01/28/22 SUBMISSION: 100% FINAL

**NZP-SCBI Admin Row
Abatement**
PROJECT NUMBER 1570104

1500 Remont Rd
Front Royal , VA 22630

Details

A1.07