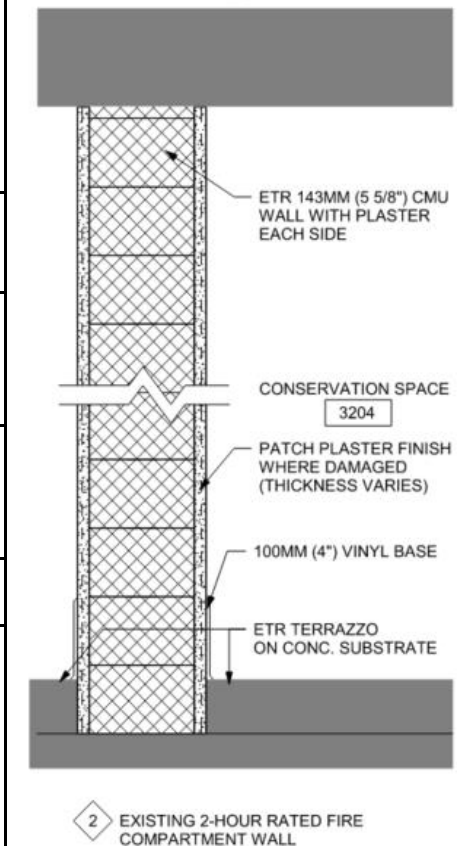


**2003106 - NMAH Renovate Gallery for Gunboat Pre-Bid RFIs**

#	Reference	RFI	Response
1		1. Notes 3 and 4 on ED-101 state to determine contents of raceways and trace raceways to their ends, and then remove cables, conductors, and raceways. Bidders are unable to determine quantity or type of cables within the raceways, or the length of the raceway at the time of the bid. Please provide an allowance quantity or dollar value to include.	Keep requirement in notes 3 & 4 to trace raceways to their ends, but at this time, do not assume removal of cables, conducters and raceways. Where possible, cabling & conduit will remain in place and walls furred to accommodate.
2		2. Note 1 on ET-101 is assumed to relate to notes 3 & 4 on ED-101. Bidders are unable to determine the size of the junction boxes needed, or the length of cable to be installed. Please provide an allowance quantity or dollar value to include.	Disregard note 1 to provide new junction boxes. As indicated in RFI 1 above, where possible, cabling & conduit will remain in place and walls furred to accommodate.
3		3. Drawing EP 401 EL detail H6 shows a 1" conduit going back to room 3000C5. Do all 3 doors with security get a 1" homerun to room 3000C5 or do all the doors tie back to the 12x12 junction boxes installed with the (2) 2" conduits?	For security related work, 1" conduits route to 12 x 12 junctionbox then back to 2" backbone conduits then to the security closet. -M2H
4		4. Drawing TY501 DT Detail 3,5 and 6 show a 1" conduit going back to the security closet. Does each camera need a 1" conduit to the security closet or do they tie into the 12x12 junction boxes installed with the (2) 2" conduits?	Conduits from each camera may tie into 12 x 12 junction box and route the remaining run in the 2" conduit to the closet.-M2H
5		5. Please confirm Panel LC3BB will be removed by others.	Panel LC3BB is abandoned. Contractor has no work in Panel LC3BB. In upstream Panel LB3BB, mark three-pole circuit breaker #13 and one-pole circuit breaker #25 "spare". -JPA
6		As per Room Finish Schedule in A-601SH Room 3204 Conservation Space indicates APC (Acoustical Panel Ceiling & Grid).	There should be no new APC in the project. Disregard all requirements for new APC.
7		DIVISION 9 does not include a section for it, and the drawings do not clarify the comments in the provided elevations.	See response to RFI 6
8		Please clarify the action to be taken on items on drawing TY-601. There are dash lines all around the security items, is it the SI intention to have the devices replaced?	Dashed lines indicate location of the various security devices and hardware. Data Gathering Panel is existing to remain. All devices in OPS Equipment room are ETR except for Network Switch, PoE+ Ethernet Over Fiber Unit, 4 Channel. All devices noted in Gunboat conservation space (3204) and on plans are assumed to be new. -M2H
9		What is the current ePACs system that contractors need to integrate to complete the electronic security for the Conservaton Space?	ePACs is an unknown term. PACS (Physical Access Control System) is SoftwareHouse CCURE. This is noted in the 280500.10 - Common Work Results for Electronic Security. Please also note that security vendors must be certified per Section 28 0500.10 Common Work Results for Electronic Security. Please ensure security vendors have all 7 Sections (280500.10-Common Work Results for Electronic Security, 280531.10- Communications Equipment for Electornic Security, 280800.10 - Commissioning for Electrnic Security, 281000 - Access Control, 281515 Elec5tronic Locking Devices and Accessories, 282000- Video, and 283100 - Intrusion Detection)-M2H

10		What proprietary system are the existing cameras on? To ensure integration and compatibility	American Dynamics Victor System. This is noted in Section 282000 - Video. Please ensure security vendors have all 7 Sections (280500.10-Common Work Results for Electronic Security, 280531.10- Communications Equipment for Electronic Security, 280800.10 - Commissioning for Electronic Security, 281000 - Access Control, 281515 Electronic Locking Devices and Accessories, 282000-Video, and 283100 - Intrusion Detection) - M2H
11		What is the current fire alarm system? Please provide us with the vendor maintenance contact information.	Response from OFMR - Fire shop: Current FA system is Siemens Desigo Fire Safety Modular (XLS). Vendor maintenance contact is SI/OFMR/LSG.  Programming contractor for XLS - Siemens Beltsville office. Any changes to program will require them.
12		What is the current BAS system?	Siemens
13		There is mention of asbestos abatement in the statement of work, please provide us with the Conservaton Space asbestos report.	Refer to Addendum #1 to be issued NLT 10/29/24. See also attached records from SI that all other ACM in the space was abated under previous projects.
14		A101 and A601 only indicate a Window Type W1. A202 indicates an additional Window type W2. Please confirm if both windows receive the blackout shade and housing as shown on A502.	Confirmed both windows receive the blackout shade and housing as shown on A502. - arch
15		Please confirm if the temporary wall is required to be painted.	Yes, temporary wall should be painted.
16		General note 1 states that any items left in the exhibit are to be removed by the GC. Please clarify what items other than what is shown on AD101 to be removed might be left by SI for removal by the GC.	There are two "boxes" at the lower mezzanine that serve as places were kids can step up and see over the railing. They are incorrectly indicated as Note 201 "Exhibitry removed by Smithsonian" – Please include in GC demo price
17		Please provide dimensions for the new sections of type 4A wall at the ETR Mezzanine 3M205B shown on A101.	All dimensions should be V.I.F. for bidding purposes assume 33LF of type 4A wall at ETR mezzanine 3M205B - arch
18		Please confirm all lumber used for the gunboat protection is to be fire treated.	Yes, all lumber for Gunboat protection must be FRT.
19		Where are the salvaged items being delivered to?	There should only be 2 types of salvaged items. 1) AV monitors. These will be removed by SI prior to the GC starting work. 2) Glass and Wood cases on upper mezzanine. SI requests separate pricing a) to demo the cases b) to remove and relocate to another floor of the building. If needed, an Addendum can be issued requesting these items as a priced option. Updated response 10/25/25. Do not issue a separate price for demo of cabinets. Assume they will be relocated to the 4th or 5th floor via the freight elevator across the hall from the gallery and ~200 LF from elevator.

20	SPEC 01 00 00 Paragraph 31 Item 31.2.1- Noise & Vibration.	Please confirm this is required on this project. a. If so, please clarify that the requirement is for an Industrial Hygienist to perform since they do not do this type of work. b. If so, please confirm 3rd party monitoring & testing agency is required and if it is to be a first-tier subcontractor.	Yes, noise and vibration monitoring is required per this specification section, but plan may be provided by a party other than an Industrial Hygienist. Vibration monitoring should be provided by a 3rd party monitoring and testing service but is not required to be first-tier subcontractor. Provide breakout pricing for the third party monitoring.
21	SPEC 28 31 11 Item 1.12	Please confirm if a Service Agreement is required & if so, please provide specifics for the agreement.	Fire Alarm service agreement not required as part of this project.
22		Please confirm location of staging area?	Staging area will likely be the "shop" side of the current gallery. Boat protection will need to be in place before this staging area can be utilized. Upper and lower mezzanines can be used for temporary storage until full boat protection is in place.
23		Please confirm if contractors may use toilets in NMAH.	Yes, See requirements of Div. 10000 Section 36
24	Personnel	Please confirm that the project superintendent may act as QCM and SSO at the same time (Triple Hat)?	Yes. Superintendent may serve in these roles
25	Artifacts	Please confirm that all artifacts will be removed by Smithsonian in advance of work.	Yes— There are some larger pieces of the boat which will be positioned under the boat (by SI) and will be part of what is protected in place
26	Specs Section 022000 – Photographic Documentation Figure 4, page 74 “Entrance to Gunboat Philadelphia Exhibit. Remove railing support prior to boxing Gunboat (railing has been removed). Drawing AD-101-FP sheet note 0202 “Demo rail support (rail removed) prior to building protection around boat.”	1. The railing had not been removed the day the site walk took place. Who is responsible for removing the railing? Is it the winning bidder or the Smithsonian? 2. Does the winning bidder only responsible for demolishing the rail support as mentioned in sheet note 0202?	GC shall demolish the railing. SI will remove textile objects from graphic panels prior to demo
27	Drawing A-101-FP Wall Type 2	Please provide Wall Type 2 detail.	Type 2 is the ETR 2hr rated wall, which receives a new base and patch/paint as required by the finish schedule. (see @ right)
28	Drawing AD-101-FP sheet note 0208 “Demo light shelf & metal shelf support slats (Shelves Removed) Demo 76mm furring w/ GWB Finish.”	Please clarify if the whole wall will be demolished?	The wall between the gunboat gallery and the Presidency gallery is a rated wall and must remain intact. Demolish items attached to rated wall, including metal shelf support slats and furring.
29	Drawing AD-101-FP sheet note 0210 “Demo steps between mezzanine levels. Demo landings at upper mezzanine.”	1. Please confirm that the stairs and mezzanine level are made of wood (wood deck). 2. Please provide photos of the space below the lower mezzanine level showing the fire suppression pipes.	Yes. Stairs and mezzanine level are wood construction and contains sprinkler piping below. See spec section 022000 Figure 10. -SI
30	Drawing AD-101-FP sheet note 0211 “Demo lifts between mezzanine levels. Demo landings at upper mezzanine.”	Please clarify if the lifts will be demo and disposed or demo and salvaged?	Lifts will be demolished and disposed of. -SI
31	Drawing AD-101-FP sheet note 0213 “Remove wood & glass cabinets.”	Please identify where to store or bring the wood & glass cabinets. How far from the gallery?	SI requests separate pricing a) to demo the cases b) to remove and relocate to another floor of the building. If needed, an Addendum can be issued requesting these items as a priced option. Updated response 10/25/25. Do not issue a separate price for demo of cabinets. Assume they will be relocated to the 4th or 5th floor via the freight elevator across the hall from the gallery and ~200 LF from elevator.



32	Drawing sheet M-101-FP - Hazardous Materials Warning "Hazardous building materials (HAZMATs) are likely present and are anticipated to be impacted during this project including asbestos containing materials (ACM). There is no safe level of exposure to HAZMATs. Notify the government before disturbing any suspect materials that have not already been identified and await further direction from government..... ACMS shall be assumed in ductwork mastic."	<ol style="list-style-type: none"> <li>1. Please confirm that the contractor needs to submit a HAZMAT remediation price for ductwork mastic only.</li> <li>2. Please confirm that there are no other areas with HAZMAT aside from the ductwork mastic.</li> <li>3. Is there available HAZMAT report?</li> </ol>	Refer to Addendum #1 to be issued NLT 10/29/24. See also attached records from SI that all other ACM in the space was abated under previous projects.
33	Drawing AD-101-FP sheet note 0218 "Demo concrete stairway and die wall. Do not remove or damage ETR west wall of 3204C below mezzanine"	Please provide an as-built drawing/or photo below of the concrete stair to see the structure of the stair.	Project number was 0103101- sheets attached.- arch
34	Drawing AD-101-FP sheet note 0229 "Coordinate temporary removal and protection of existing video monitor with SI A/V team."	Please identify where to store or bring the video monitor.	AV monitor will be removed by NMAH staff prior to the start of construction. No work needed by GC.
35	Conservation Space (3204) westside wall – Room Finish Schedule	Please confirm that the westside wall of the conservation space will receive new plaster and paint.	Confirmed
36	Conservation Space (3204) base – Room Finish Schedule	Please confirm that the 4 walls of the conservation space will receive new 4" high vinyl base.	Confirmed
37	Conservation Space (3204) eastside wall – Room Finish Schedule	<ol style="list-style-type: none"> <li>1. Please confirm that the eastside wall of the conservation space will receive new gypsum wallboard and paint.</li> <li>2. As per East elevation at drawing 2 sheet A-201-EL, it will only receive patching and paint. Please clarify.</li> </ol>	2 From spec section 022000 Figure 10, we know there is metal mesh on the conservation space face. Assume new GB on the face of this wall to encapsulate metal mesh at under demo'd mezzanine. The remainder of the wall can be patched and painted.
38	Conservation Space (3204) southside wall – Room Finish Schedule	<ol style="list-style-type: none"> <li>1. Please confirm that the southside wall of the conservation space will receive new gypsum wallboard and paint.</li> <li>2. As per South elevation at drawing 1 sheet A-201-EL, ETR mezzanine wall will only receive patching and paint. Please clarify.</li> <li>3. Please confirm if the southside of the conservation space where the handrail is demoed will receive new work. If yes, will it receive new GWB and paint as per the room schedule?</li> </ol>	1. southside wall of conservation space is new 1 hr rated partition wall, therefore it will receive new GWB and paint. 2 & 3. We know there is a full GWB wall separating the collections storage space (south and west) from the area under the mezzanine, but the condition of this wall is unknown. A new layer of GWB or patching is acceptable, however note that Specifications call for Level 5 finish. Instead, provide Level 4 finish inside the conservation space (3204).
39	Conservation Space (3204) ceiling – Room Finish Schedule	<ol style="list-style-type: none"> <li>1. Please confirm that APC will be installed in Conservation Space.</li> <li>2. If yes, please provide a ceiling plan that reflects the APC layout.</li> <li>3. Please provide APC &amp; grid specifications</li> </ol>	There should be no new APC in the project. Disregard all requirements for new APC.
40	Landmark 3E (3020) Base – Room Finish Schedule	Please confirm that this is not part of the contract.	3020 has scope required by the room finish schedule A 601 SH. See response to RFI 69.
41	ETR Mezzanine (3M205B) Eastside wall – Room Finish Schedule	Please confirm that the eastside wall of the ETR Mezzanine will receive new gypsum wallboard and paint.	The east side of the ETR Mezzanine is the next to the 3205. No work is anticipated here.
42	ETR Mezzanine (3M205B) Southside wall – Room Finish Schedule	Please confirm that the Southside wall of the ETR Mezzanine will receive new gypsum wallboard and paint.	At this wall we expect that full replacement will be required because of the extent of demolition. To be confirmed in field. Note, Specifications call for Level 5 finish. Instead, provide Level 4 finish inside the conservation space (3204).

43	ETR Mezzanine (3M205B) Westside wall – Room Finish Schedule	1. Please confirm that the Westside wall of the ETR Mezzanine will receive plaster and paint. 2. Please point out in the plan of the wall that needs to receive plaster.	See elevations. Patching at existing portion of wall is acceptable, but where the stairs were removed, we expect that full replacement will be required because of the extent of demolition. To be confirmed in field. Note, Specifications call for Level 5 finish. Instead, provide Level 4 finish inside the conservation space (3204).
44	ETR Mezzanine (3M205B) & Conservation Space (3204) – Room Finish Schedule	As per room schedule, ETR mezzanine is exposed ceiling and conservation space will have APC. Please provide APC termination details.	There should be no new APC in the project. Disregard all requirements for new APC.
45	Specification Section 054000 – Cold-Formed Metal Framing Item 1.3.C.1 “Provide design and detailing for cold-formed steel framing and submit calculations and shop drawings under the seal and signature of an engineer licensed to practice in the District of Columbia.”	Please confirm if the delegated design for cold-formed steel framing is required.	spec 054000 requires delegated design- arch
46	Hazmat Report	Is there a hazmat report available for the gallery?	Refer to Addendum #1 to be issued NLT 10/29/24. See also attached records from SI that all other ACM in the space was abated under previous projects.
47	Liquidated Damages	Are there liquidated damages in this project? If yes, how much?	No liquidated damages
48	Toilet	Will the workers allowed to use the public toilet?	Yes, See requirements of Div. 10000 Section 36 -SI
49	Parking	Will there be designated parking for the project superintendent?	No designated parking will be provided -SI
50	Specification section 010000 item 34.1 “The contractor shall establish a temporary office at the project site. “	Please confirm if a temporary office is required during the construction.	No. A temporary office is not required. Contractor can use gallery space once boat is protected. -SI
51	As-built CAD record drawing	Does the contractor required to provide a CAD as built?	No. CAD as-builts are not required. -SI
52	Window Schedule	Please provide a window schedule	The Project has two windows W1 and W2 Shown on A 202 EL, A 502 DT and spec 08 8817
53	Roller Window Shades	1. Please provide shade dimensions 2. Please confirm that W1 & W2 windows will receive manual blackout shade & housing.	1- Shades are full width of each window 2- Confirmed W1 and W2 both receive manual blackout shades and housings -arch
54	Room ID Sign	Please confirm that the contractor will only provide signs for the following: 1. (2) ID signs for Conservation Space 2. (1) ID sign for Mechanical Room	Confirmed -arch
55	Specification section 022000-page 78 Figure 12 & 13 “Window wall; replace 6th pane from planter with louver and Window detail.”	Please confirm if this is part of the contract. If yes, please provide clear instructions. (provide detail drawings and specs)	This is not part of the project. Disregard referenc for louver and exterior window work. -SI
56	Sign-in sheet	Please provide a copy of the sign-in sheet.	See attached.
57	Staging & Laydown Area	Will the government provide a space for staging and laydown area?	Staging/layodown area will likely be the "shop" side of the current gallery. Boat protection will need to be in place before this staging area can be utilized. Upper and lower mezzanines can be used for temporary storage until full boat protection is in place.
58	Storage	Will the government provide temporary storage for the winning bidder?	Temporary storage area/staging area will likely be the "shop" side of the current gallery. Boat protection will need to be in place before this staging area can be utilized. Upper and lower mezzanines can be used for temporary storage until full boat protection is in place
59	Reference: Specification Section 101423.16 item 1.2.A “Section includes room-identification signs that are directly attached to the building. Signs must match existing signs in building.”	Please provide a sample of the existing signs in the building. (Photo)	See photos to the right





60	Reference: Delegated Design	Please confirm that the delegated design for cold-formed steel framing and for the manufactured metal ladder.	Confirmed
61	Third Party Testing & Inspection	1. <del>Is</del> there any third-party testing & Inspection involved in this contract? 2. <del>If</del> yes, is the winning contractor be responsible for it?	Provide per documents.
62	Field test joint-sealant adhesion	1. <del>Does</del> field test joint-sealant adhesion require in this contract? 2. <del>Does</del> it require a third-party testing company?	Provide per documents.
63	Specification Section 087100 item 3.4.A.1 – Independent Architectural Hardware Consultant state “Engage a qualified independent Architectural Hardware Consultant to perform inspections and to prepare inspection reports.”	Please confirm that this is not applicable to this project.	Provide per documents.
64	Drawing AD-101-FP Legend T1 “Provide temporary construction partition until new perimeter walls, windows, and doors are erected. Build construction barriers from floor to ceiling. Provide pair doors, 915mm x 2134mm (3’-0”) x 7’-0”), frame, and hasp with padlock. Coordinate location w/ COTR” – 1 hour fire rated wall. Drawing A-101-FP Note 0502 “New wall must align with edge of ETR metal ceiling without damage to ceiling (permanent wall/wall enclosure)” – 1 hour fire rated wall.	1. <del>Can</del> we use the 1-hour temporary construction partition to build the rated partition enclosing new conservation space (permanent wall)? 2. <del>If</del> it is allowed to use the temporary partition for the permanent wall, is it possible to demolish the temporary construction partition sooner to build the rated partition enclosing the new conservation space (permanent wall)?	Provide a temporary partition per the project documents. Any early removal of the temporary partition would need to be coordinated and approved in advance by COTR and should not be assumed. SI is open to how the wall is built, as long as the 1 hr. wall is in the same plane as the existing, and the boat and adjacent corridor are protected from dust and noise.
65	Specification Section 01 91 13 – Commissioning Item 1.1.A. “The Smithsonian will procure the services of independent Commissioning Consultant...”	42. <del>Reference:</del> Question: Please confirm that a third-party commissioning consultant is required and will be hired by the Smithsonian.	Third party Commissioning is not required for the scope of this project.
66	Initial RFI submission October 21, 2024 and RFI Responses issued October 24, 2024, that display an empty yellow box in the Response column.	Please confirm these remaining unanswered RFIs will be answered in future amendment.	Empty response boxes are complete.
67	RFI #19 answer “There should only be 2 types of salvaged items. 1) AV monitors. These will be removed by SI prior to the GC starting work. 2) Glass and Wood cases on upper mezzanine. SI requests separate pricing a) to demo the cases b) to remove and relocate to another floor of the building. If needed, an Addendum can be issued requesting these items as a priced option.”	Please provide an addendum for these items as a priced option.	See revised reponse to RFI 19 and 31 removing the requirement for a priced option and giving estimates of travel distance for salvaged cases.
68	RFI #31 answer “SI requests separate pricing a) to demo the cases b) to remove and relocate to another floor of the building. If needed, an Addendum can be issued requesting these items as a priced option.”	What floor and total distance do we need to relocate the items?	See revised reponse to RFI 19 and 31 removing the requirement for a priced option and giving estimates of travel distance for salvaged cases.
69	RFI #40 answer “3020 has scope required by the room finish schedule A 601 SH – arch”	Please point out the location in the drawing where we need to install the new vinyl base and the new GWB & paint.	See Sheet A202EL and A601SH. Rooms 3020 and 3000C6 are both open corridor spaces and flow into each other. Paint and vinyl base is only required at new 1 hr rated wall along public corridor/landmark space to match adjacent

